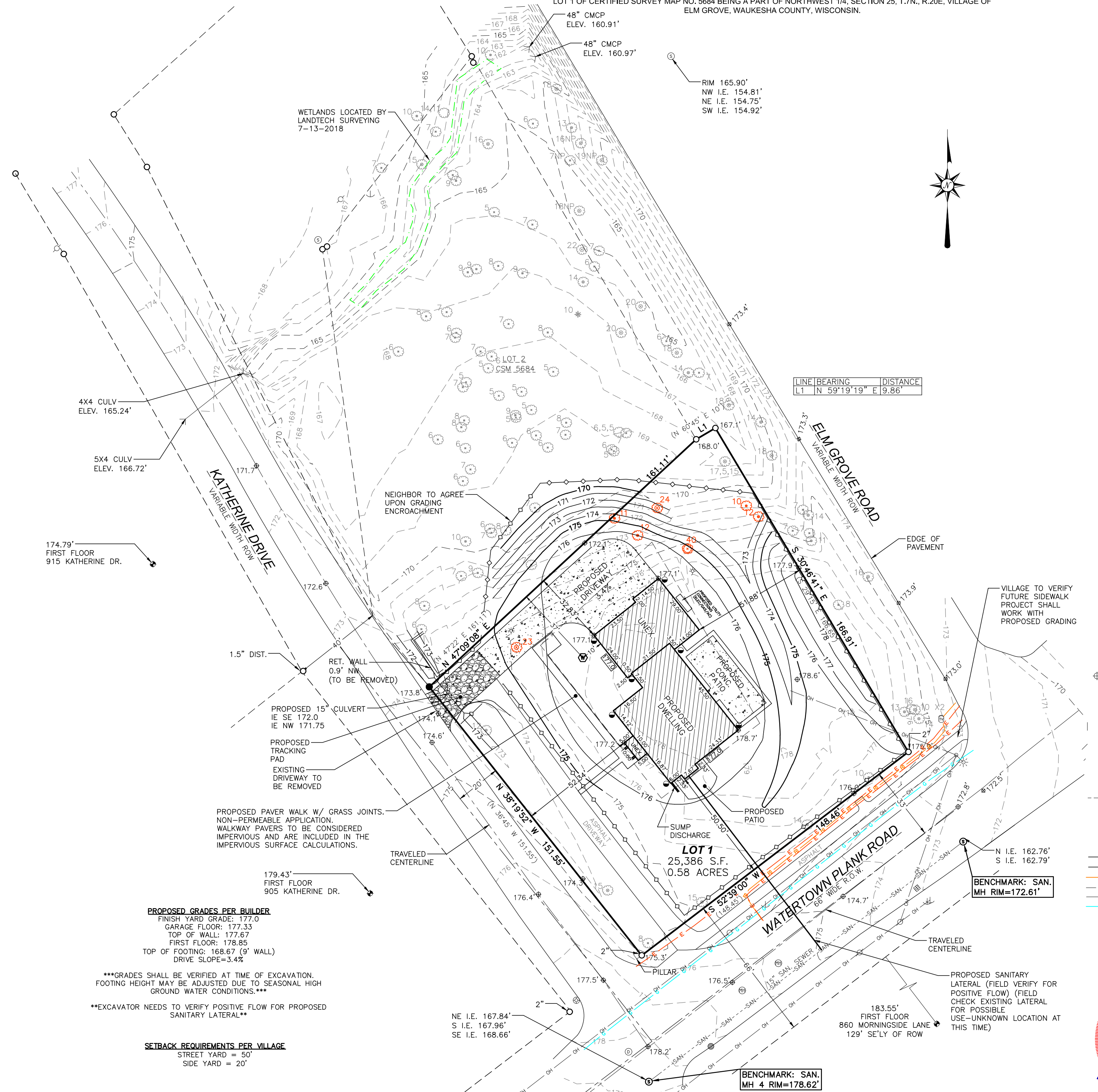


PROPOSED IMPROVEMENTS AND GRADING PLAT OF SURVEY

LOT 1 OF CERTIFIED SURVEY MAP NO. 5684 BEING A PART OF NORTHWEST 1/4, SECTION 25, T.7N., R.20E, VILLAGE OF ELM GROVE, WAUKESHA COUNTY, WISCONSIN.



NOTES:

- BEARINGS ARE REFERENCED TO THE SOUTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5684 RECORDED AS N 52°39' E
- ELEVATIONS ARE REFERENCED TO VILLAGE OF ELM GROVE VERTICAL DATUM BASED ON SANITARY SEWER ASBUILTS PROVIDED BY THE VILLAGE. MH 4 RIM WATERTOWN PLANK ROAD ASBUILT DATED 1-23-84 ELEV. 178.62
- THE EXCAVATOR AND MASON MUST VERIFY AT LEAST 2 BENCHMARKS SHOWN ABOVE.
- PROPOSED ELEVATIONS AS SHOWN ON THIS DRAWING IS A SUGGESTED GRADE AND SHOULD BE VERIFIED BY THE OWNER AND/OR THE BUILDER AND APPROVED BY THE BUILDING INSPECTOR.
- EROSION CONTROL MEASURES SHALL BE PROVIDED BY THE BUILDER AND/OR BUILDING INSPECTOR BASED ON SITE CONDITIONS.
- EROSION CONTROL MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- A TITLE COMMITMENT HAS NOT BEEN PROVIDED. AN ADDITIONAL SEARCH FOR EASEMENTS OF RECORD HAS NOT BEEN COMPLETED.
- THE UNDERGROUND UTILITIES AS SHOWN ON THIS SURVEY ARE SHOWN PER DIGGER'S HOTLINE MARKINGS AND OR UTILITY PLANS PROVIDED. THE SURVEYOR DOES NOT CERTIFY OR GUARANTEE THE EXACT LOCATIONS OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- TREES COLORED RED TO BE REMOVED
- WETLANDS DELINEATED BY GEOTHINK, LLC ON JULY 18, 2018. WETLAND DELINEATION WAS CONDUCTED ON ONLY 1 PROPERTY (THE ONE TO THE NORTH-NORTHWEST) BECAUSE THERE ARE NO REPORTED WETLAND TRIGGERS ON THIS LOT THAT WOULD REQUIRE A WETLAND DELINEATION.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SIGNED: MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR S-2771

LOT SQUARE FOOTAGE = 25,386 SQ.FT.

STANDARD ALLOWABLE IMPERVIOUS SQ.FT. 30% = 7,616 SQ.FT.

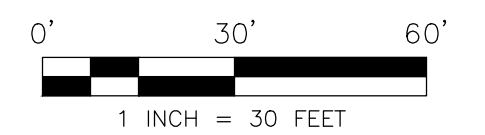
IMPERVIOUS SURFACE CALCULATIONS

HOUSE, PORCH, GARAGE: 2,771 SQ.FT.
 PROPOSED FRONT WALK & LANDING: 278 SQ.FT.
 INFORMAL SITTING SIDE YARD: 166 SQ.FT.
 EXISTING ASPHALT WALK (ALONG SW LOT): 1,146 SQ.FT.
 PROPOSED REAR PATIO: 800 SQ.FT.
PROPOSED DRIVE (TO PROPERTY LINE - ENTIRE FOOTPRINT)=2,209 SQ.FT.

TOTAL = 7,370 SQ.FT. 29.0%

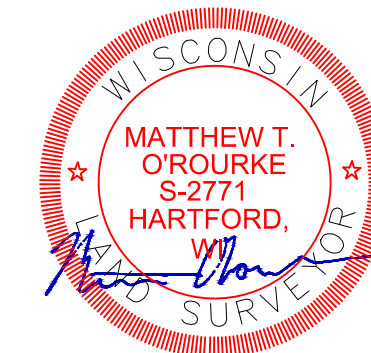
LEGEND

- FOUND 1" IRON PIPE OR NOTED
- FIRST FLOOR ELEVATION
- EXISTING SPOT GRADE
- CMCP CULVERT
- POWER POLE
- GUY WIRE
- TV PED
- SANITARY MANHOLE
- DECID. TREE WITH TRUNK DIA.
- STORM MANHOLE
- MANHOLE
- LIGHTPOLE WITH MAST
- LIGHT
- DRAIN
- EXISTING CONTOUR
- INLET
- SET 3/4" REBAR
- RECORD DIMENSION
- CON. TREE WITH TRUNK DIA.
- PROPOSED ELEVATION
- PROPOSED CONTOUR
- PROPOSED SILT FENCE
- UNDERGROUND FIBER
- SANITARY SEWER
- UNDERGROUND ELEC.
- UNDERGROUND GAS
- TREE REMOVAL
- DOWNSPOUT
- PROPOSED WELL



LAND SURVEYING • LAND PLANNING
 P.O. BOX 15, HARTLAND, WI 53029
 WWW.LANDTECHWI.COM
 LANDTECHSURVEYING@GMAIL.COM
 (262) 367-7599

LOCATION	13550 WATERTOWN PLANK ROAD VILLAGE OF ELM GROVE WAUKESHA COUNTY, WI.	
CLIENT:	ROB MILLER HOMES	
PROJ. NAME:	FLORANCE	
LAYOUT NAME:	PROPOSED IMPROVEMENTS	
SHEET NO.:	SHEET 2 OF 2	
	DATE: 9/28/2018	
REVISED: 10/12/18	RE: VILLAGE COMMENTS	
REVISED:	RE:	
DRWN: SMW	CHKD: MTO	
PROJ. NO: 18093		
FILE NO: 18093_SURVEY.DWG		



PROPOSED GRADES PER BUILDER
 FINISH YARD GRADE: 177.0
 GARAGE FLOOR: 177.33
 TOP OF WALL: 177.67
 FIRST FLOOR: 178.85
 TOP OF FOOTING: 168.67 (9' WALL)
 DRIVE SLOPE=3.4%

GRADES SHALL BE VERIFIED AT TIME OF EXCAVATION. FOOTING HEIGHT MAY BE ADJUSTED DUE TO SEASONAL HIGH GROUND WATER CONDITIONS.

EXCAVATOR NEEDS TO VERIFY POSITIVE FLOW FOR PROPOSED SANITARY LATERAL

SETBACK REQUIREMENTS PER VILLAGE
 STREET YARD = 50'
 SIDE YARD = 20'