

BUILDING BOARD AGENDA
Tuesday, March 17, 2026 * 5:30 PM * Park View Room
13600 Juneau Boulevard, Elm Grove, WI 53122

1. Roll call

Documents:

[20260317_Building Board Memo.pdf](#)

2. Review and act on meeting minutes dated March 3, 2026

Documents:

[3_3_2026dm.pdf](#)

3. Review and act on a request by CN Builders LLC, 15170 Gebhardt Rd, for alterations

Documents:

[03.01.2026 Revised Submittal.pdf](#)

[01.13.2026 Arch Submittal.pdf](#)

[15170 Gebhardt Rd_PoS.pdf](#)

4. Review and act on a request by Lauren Tauscher, 13050 Gremoor Dr, for alterations

Documents:

[Alteration Plans_13050 Gremoor Dr.pdf](#)

[Garage Door Spec.pdf](#)

[Siding Spec.pdf](#)

5. Review and act on a request by Kathy Fassbinder, 12605 Gremoor Dr, for alterations

Documents:

Back Elevation.jpg
Back Elevation 2.jpg
Front Elevation.jpeg
Window and Door Schedule.pdf

6. Review and act on a request by Matt and Jennifer Loverine, 1460 Woodlawn Cir, for a covered porch replacement

Documents:

Construction Set_1460 Woodlawn Cir.pdf
Window and Door Schedule.pdf
Porch Light Spec.pdf

7. Review and act on a request by James and Erika Zaiser, 1550 Sunset Dr, for an entry portico addition

Documents:

06.18.2025 Schematic Design.pdf
11.16.2018 Conceptual Drawings.pdf
Light Selections.pdf
Survey 1550 Sunset Drive_Marked Up.pdf

8. Other Business

9. Adjournment

Any person who has a qualifying disability as defined by the Americans with Disabilities Act who requires that the meeting or materials for the meeting has to be in an accessible location or format must contact the Village Clerk at 262-782-6700 or 13600 Juneau Boulevard by 3:00 PM Friday prior to the meeting so that any necessary arrangements can be made to accommodate your request.

Members of the public wishing to participate in a meeting virtually must submit a Virtual Meeting Access Request form no later than 3:00pm on the Friday preceding the scheduled meeting

NOTICE: It is possible that members of, and possibly a quorum of, other governmental bodies of the Village may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to in the above notice

Memo



To: Building Board
From: Ethan Sowl, Assistant Village Manager/Zoning & Planning Administrator
Date: March 13, 2026
Re: Review of Agenda Items for March 17, 2026

Item 3 . Review and act on a request by CN Builders LLC, 15170 Gebhardt Rd, for alterations

The owner previously received approval of the footprint and demolition work for a 2,598 square foot addition on the west side of the home. The project includes demolition of the existing garage and breezeway to construct the addition (1/20/2026). Since then, the owner obtained an early-work demolition permit to begin the project.

The Board tabled the following items in their design review:

- Front Elevation
 - Bring the two westernmost garage doors forward.
 - 2-foot stone wrap in between garage doors.
 - Removal of easternmost gable, replace with hip-style.
 - Add column west of front entry.
- West Elevation
 - Terminate 2-foot stone wrap at southern corner.
 - Add window in between smaller window and southernmost larger window.

At this time, the owner has submitted a modified plan with revised elevations.

Item 4. Review and act on a request by Lauren Tauscher, 13050 Gremoor Dr, for alterations

The owner requests approval to remove a column on the front porch, add an eyebrow roof over the garage, and install a new garage door. Additionally, the owners will be installing new siding, trim, soffit, fascia, gutters, and downspouts.

Item 5. Review and act on a request by Kathy Fassbinder, 12605 Gremoor Dr, for alterations

The owner requests approval to remove a window on the front of the home, complete a full window replacement on the back of the home (installing casement windows and French doors in place of what's there currently). The owner is also replacing the front door and changing the siding color as part of this project (Oyster Bar - sample brought to meeting).

Item 6. Review and act on a request by Matt and Jennifer Loverine, 1460 Woodlawn Cir, for a covered porch replacement

The owners request approval to demolish an existing covered porch and rebuild a new one in the same footprint.

The property is located in Indian Hills Estates. The Village has received a copy of their approval letter.

Item 7. Review and act on a request by James and Erika Zaiser, 1550 Sunset Dr, for an entry portico addition

The owner requests approval for a 123 square foot front entry portico addition. The proposed addition meets impervious surface coverage (11.6% building footprint, 26.8% total) and setback (49' and 64' sides, 89' rear) requirements.

The property is located in Indian Hills Estates. The Village has not yet received a copy of their approval letter. Until this has been provided, any Building Board approval shall be contingent upon approval by Indian Hills.



Village of
Elm Grove

BUILDING BOARD MINUTES
Tuesday, March 3, 2026 * 5:30 PM * Park View Room

13600 Juneau Boulevard, Elm Grove, WI 53122

3/3/2026 - Minutes

1. Roll Call

Chairman Olson called the meeting to order at 5:30 p.m.

Present:

- Jim Olson, Chairman
- Mark DiFonzo
- Tim Flanner
- Michelle Jackson
- Andy Matola (arrived at 5:38 p.m.)
- Bret Roge

Absent:

- Tim Janusz
- Jennifer Stuckert
- Kiel Thedford

Chairman Olson welcomed Mark DiFonzo, a newly appointed member of the Board. DiFonzo introduced himself, stating that he has been a resident for 38 years, serves as a poll worker and attendant in the Public Works yard, and has previously served on the Fire Department. DiFonzo is a retired mechanical engineer.

2. Review and act on meeting minutes dated February 3, 2026

Mr. Roge made a motion to approve the minutes. Mr. Flanner seconded. Motion passed 5-0.

3. Review and act on a request by Block Legal Services, LLC, 13545 Watertown Plank Rd, Unit #7, for Business Signage

Chairman Olson stated that William Block, owner of Block Legal Services, has installed a 7.23 square foot sign, approximately 38" off the ground. The sign is compliant with size requirements. The sign was inadvertently installed prior to issuance of a building permit; therefore, retroactive approval is being requested. The owner has obtained a temporary sign permit for the time being.

Block apologized for inadvertently installing the sign, referencing a miscommunication with the sign company.

Mr. Roge made a motion to retroactively approve the sign. Ms. Jackson seconded. Motion approved 5-0.

4. Review and act on a request by Dwayne Setzer, 600 Meadow Ln, for a bathroom addition

Chairman Olson stated that Dwayne Setzer, owner, requests approval to construct a 42 square foot bathroom addition on the north side of the home. The addition will be compliant with setback requirements (25.4' side yard). The lot will also remain compliant with the impervious surface coverage limit (~6% building footprint, ~18% total coverage).

Chairman Olson asked if the brick will be matched. Setzer stated that it would match.

Chairman Olson identified that since there is an existing appendage off the home with a hip roof, the proposed bathroom bump-out with a hip roof makes sense.

Ms. Jackson asked if there will be shutters. Setzer stated there will not be.

Mr. DiFonzo asked if there is any concern about the existing window being immediately adjacent to the bump out. Setzer stated there will be an 8–9-inch gap in between the window and bump out. Ms. Jackson stated that it looks like the window dies into the bump out, asking if the window could be shifted. Chairman Olson asked if the bump out could shift over approximately 6 inches. Setzer stated that this would likely not be possible. Setzer asked if the window could be removed and filled with brick if it is not possible to shift the window further away from the bump out. The Board agreed in an effort to achieve a cleaner look.

Mr. DiFonzo asked if the owner is relocating the electrical service and furnace exhaust. Setzer stated that these items will be moved.

Ms. Jackson made a motion to approve contingent upon the window on the rear elevation adjacent to the proposed bump out being shifted over approximately six inches. If the window is unable to be shifted, it shall be removed and filled with brick to match the remaining facade. Mr. Roge seconded. Motion passed 6-0.

5. Review and act on a request by GMD Homes, 1635 Highland Dr, for alterations

Chairman Olson stated that Dwayne Setzer of GMD Homes requests approval to replace the front door previously approved by the Board, to replace 3 windows on the front of the home, and to remove a portion or all of the porch roof.

Covered Porch Discussion

Setzer stated that the concrete under the porch is in very good shape. Setzer also stated that he is afraid that removing the entire porch will make the rear elevation look like a piece of the home is missing. Setzer proposed to remove approximately half of the porch (and its columns).

Chairman Olson asked what the owner is proposing. Setzer stated that he is proposing removal of 7 columns (and its roof above). Mr. DiFonzo asked what will support the structure if those are removed. Setzer stated that there is a beam that runs across to support the structure (which would not be removed). Ms. Jackson asked if screens will be installed. Setzer stated that no screens will be installed since the beams are not spaced out evenly.

Mr. Matola clarified that, approximately, the last six feet of the covered porch (leaving the concrete) would be removed.

Chairman Olson stated his concern that in removing a portion of the porch is that a long open span would be left off the back while the columns are bunched up on the sides. Olson suggested installing decorative columns around the corner. Setzer agreed to complete this.

Mr. Matola stated that a drawing or plan should be submitted to show the revised column setup. Setzer agreed.

Window Discussion

Setzer proposed to remove the existing diamond-grille windows on the home (2 on the back and 1 on the front) and replace them with casement windows.

Chairman Olson stated that if the preference is to go with all casement windows, the Board would not have previously approved the newly installed double-hung windows late last year. Olson stated that this situation places the Board in a difficult position; the Board has always enforced uniform window proposals. If this project was submitted in one complete plan, the issue with non-matching windows would have been mitigated. Olson preferred that the windows should all be casement-style.

Mr. Matola reiterated that the home already has a combination of double-hung and casement windows on the rear. Matola suggested that the Board require replacement of the lone double-hung window on the front to a casement to match the remaining windows on the elevation as it currently appears out of place.

Door Discussion

Setzer stated that he previously intended to leave the existing, rustic front door; however, he would like to install a new glass door with a side lite to match the door on the back of the home. Ms. Jackson asked what color the door would be. Setzer stated that it will be painted brown.

Mr. Matola made a motion to approve the alterations contingent upon the following:

- Replacement of diamond windows with casement windows.
- Double-hung window on the front elevation removed and replaced with a matching casement window.
- Seven columns (and roof above) on covered porch removed
- Two additional non-structural columns installed around new corners. Must match existing columns.
- glass panel front door to replace existing door.

6. Review and act on a request by Neafie Ruttger Joint Trust, 12505 Westgrove Terrace, for a deck

Chairman Olson stated that the owner(s) request approval to demolish the existing deck and rebuild in the same footprint. The deck is compliant with setback requirements (57' street, 48' and 77' sides, 79' rear).

Chairman Olson asked if the railing would include any decorative elements. Ms. Jackson stated that there is not any, there is a shadow on the rendering that makes it look like there may be.

Aaron Stephans of Outdoor Living Unlimited was in attendance.

Chairman Olson asked what material and color the railing will be. Stephans clarified that the railing would be a texture bronze color in aluminum.

Mr. DiFonzo asked if there will be lights on all post caps. Stephans stated that it would be an LED wired system and that there are no lights on their current deck.

Mr. DiFonzo asked if the deck will support the roof. Stephans stated that it needs to support the roof and that they are putting another helical support in the ground as a precaution.

Ms. Jackson made a motion to approve as submitted. Mr. Flanner seconded. Motion passed 6-0.

7. Other Business

None.

8. Adjournment

Mr. Matola made a motion to adjourn. Ms. Jackson seconded. Motion passed 6-0.

FOUNDATION INFORMATION

- **HOUSE FOUNDATION**
8" x 8'-0" poured concrete
- **GARAGE FOUNDATION**
8" x 4'-0" poured concrete
- **PORCH/PATIO FOUNDATION (UNEXCAVATED)**
6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY MASON/CONTRACTOR TO VERIFY
- FINAL WALL/POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
- MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL-MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.

WALL INFORMATION

- **HOUSE EXTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE INTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- **GARAGE**
WALL HEIGHT: 2 x 6 x 10'-9 3/8" (UNLESS NOTED/SHOWN OTHERWISE)
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)

FLOOR SYSTEMS

- **BASEMENT**
4" CONCRETE SLAB
- **FIRST FLOOR**
12" I-JOIST @ 19.2" O.C.
- STANDARD LOADING (PER SQ. FT.)
40# LL, 15#DL.
- ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
10#DL FOR TILE FLOOR
13#DL FOR GYPCRETE (1.5" THICK)
20#DL FOR FIREPLACE FACE/HEARTH
25#DL FOR GRANITE/QUARTZ
- DEFLECTION: LL=L/480, TL=L/360
- DURATION OF LOAD: 1.00% ROOF SYSTEMS

ROOF SYSTEMS

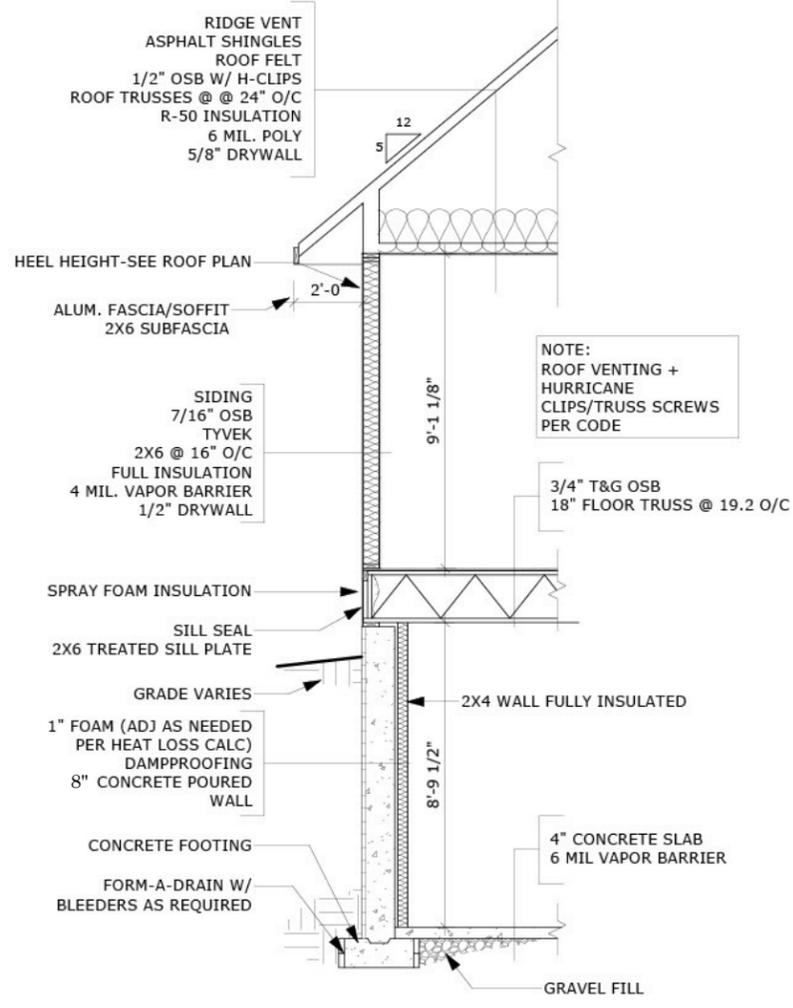
- ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
30# TCLL, 10# TCCL, 10# BCCL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

HEADERS

- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10 HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.
FIRST FLOOR @ 8'-0" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

GENERAL INFORMATION

- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
2X6 WALLS=5 1/2", 2X4 WALLS =3 1/2"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE) FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT, WINDOWS, ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL DOOR HEIGHTS ARE 8'-8" UNLESS NOTED/SHOWN OTHERWISE

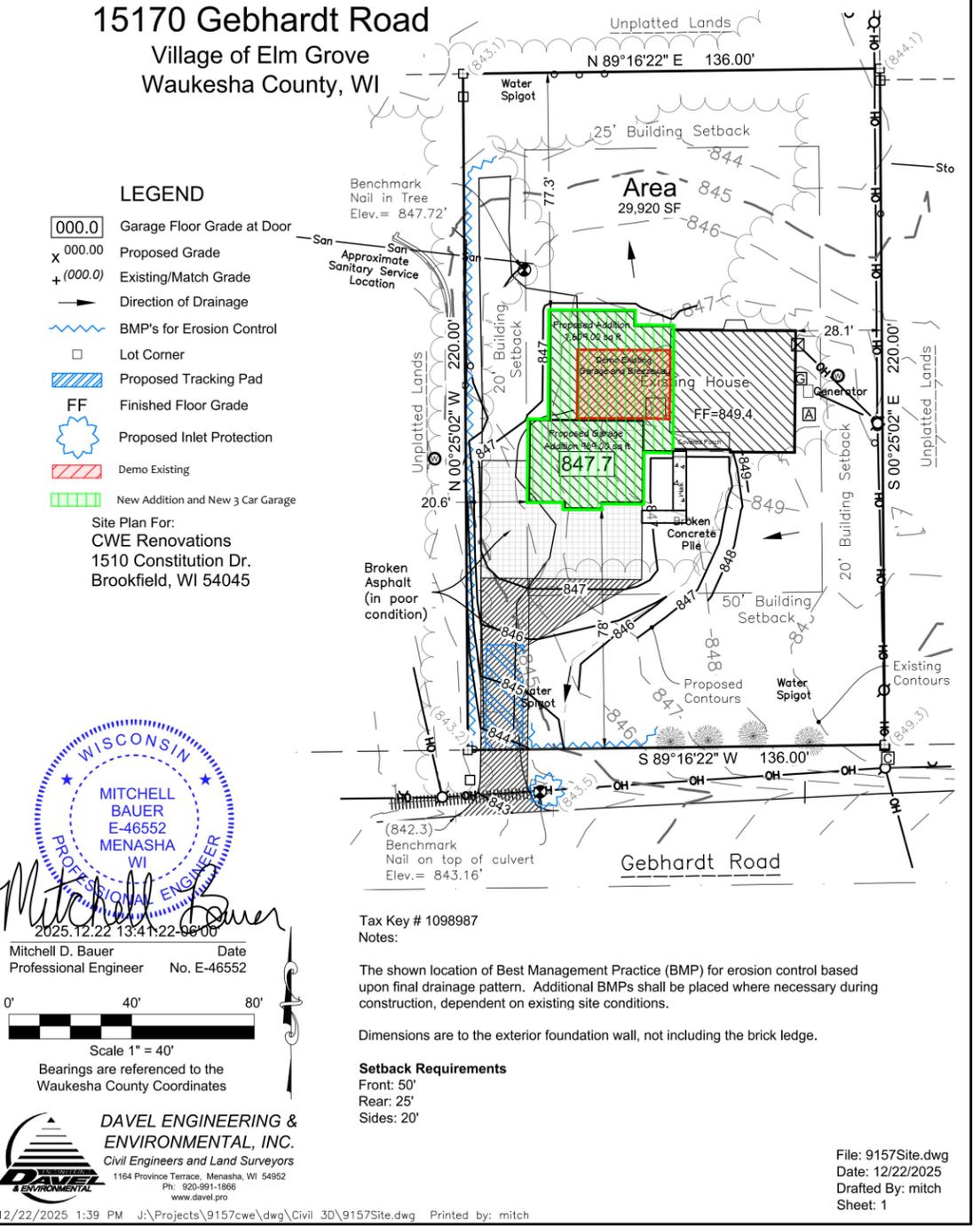


TYPICAL WALL SECTION
1/4" = 1'-0"

IMPERVIOUS SURFACE CALCULATION

FIRST FLOOR AREA:	2,402.00 SQ FT	9.70%
GARAGE FLOOR AREA:	940.49 SQ FT	3.14%
WALK AND PORCH AREA:	213.46 SQ FT	0.71%
DRIVEWAY AREA:	2,419.66 SQ FT	8.09%
TOTAL COVERAGE AREA:	6,475.61 SQ FT	
TOTAL LOT AREA:	29,920.00 SQ FT	
TOTAL LOT COVERAGE %:	21.64%	

Parcel 1098987
15170 Gebhardt Road
Village of Elm Grove
Waukesha County, WI



WISCONSIN PROFESSIONAL ENGINEER
MITCHELL BAUER
E-46552
MENASHA, WI
2025.12.22 13:41:22 06:06

Mitchell D. Bauer
Professional Engineer No. E-46552
Date
Scale 1" = 40'
Bearings are referenced to the Waukesha County Coordinates

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866
www.davel.pro

12/22/2025 1:39 PM J:\Projects\9157cwe\dwg\Civil 3D\9157Site.dwg Printed by: mitch

Tax Key # 1098987
Notes:

The shown location of Best Management Practice (BMP) for erosion control based upon final drainage pattern. Additional BMPs shall be placed where necessary during construction, dependent on existing site conditions.

Dimensions are to the exterior foundation wall, not including the brick ledge.

Setback Requirements
Front: 50'
Rear: 25'
Sides: 20'

File: 9157Site.dwg
Date: 12/22/2025
Drafted By: mitch
Sheet: 1

REVISION TABLE	DESCRIPTION	GARAGE SIZE
NUMBER DATE	REVISION BY	
1 12/22/2025	DN	

SITE PLAN

ADDITION
15170 Gebhardt Rd
Elm Grove WI 53122

DRAWINGS PROVIDED BY:
CN BUILDERS LLC

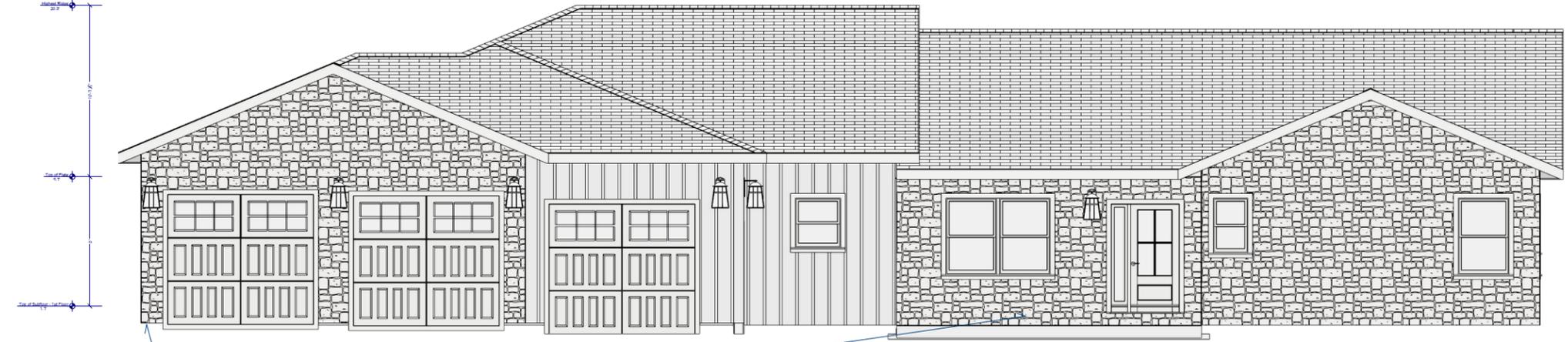
DATE:
3/1/2026

SCALE:

SHEET:

NOTE:

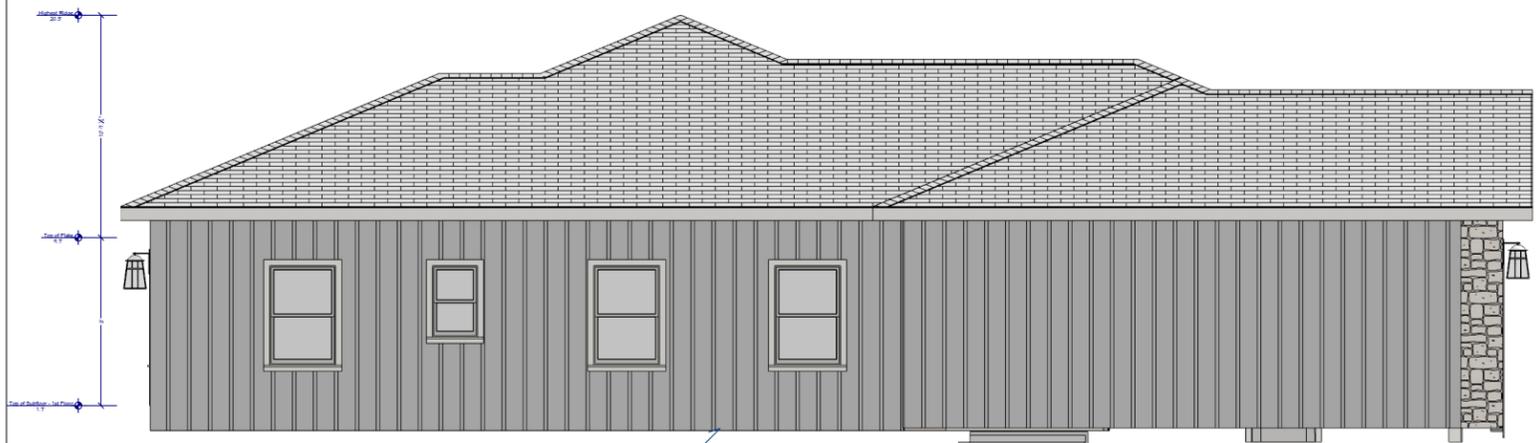
All existing broken asphalt to be removed and replaced with new asphalt driveway



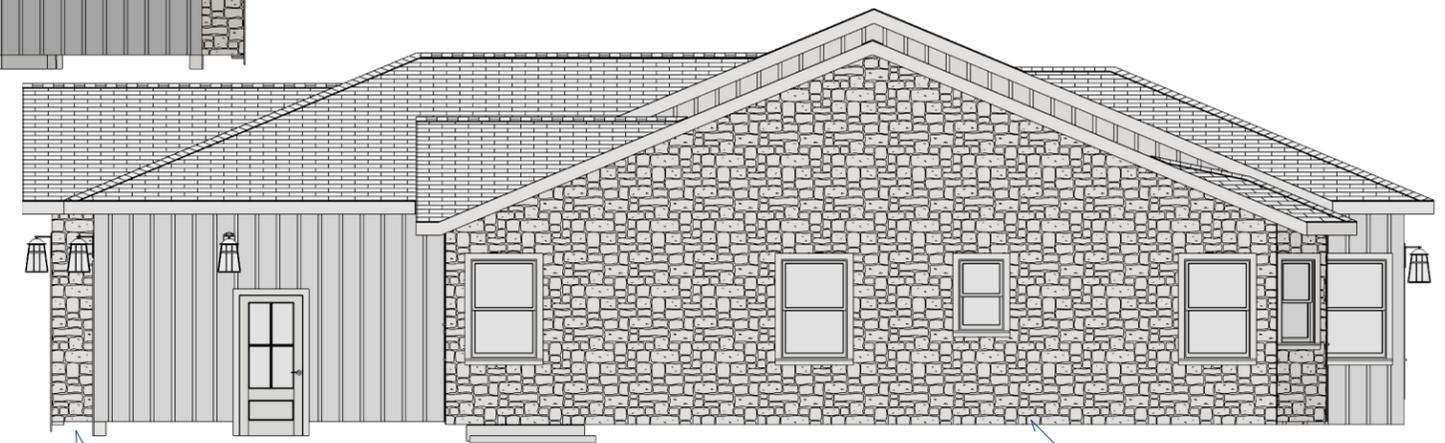
E1 FRONT ELEVATION
1/4 IN = 1 FT



E2 REAR ELEVATION
1/4 IN = 1 FT

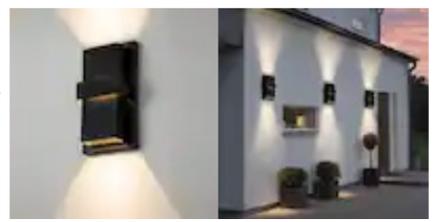


E3 WEST ELEVATION
1/4 IN = 1 FT



E4 EAST ELEVATION
1/4 IN = 1 FT

NOTE:
 -All existing limestone to remain in place-nude natural color
 -Addition siding to be LP Smart siding - Sherwin Williams Charcoal color
 -Garage doors to be natural wood color
 -All lighting sconces to be - 3 - light matte black aluminum LED outdoor wall lantern sconce



REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

ELEVATIONS

ADDITION
 15170 Gebhardt Rd
 Elm Grove WI 53122

DRAWINGS PROVIDED BY:
CN BUILDERS LLC

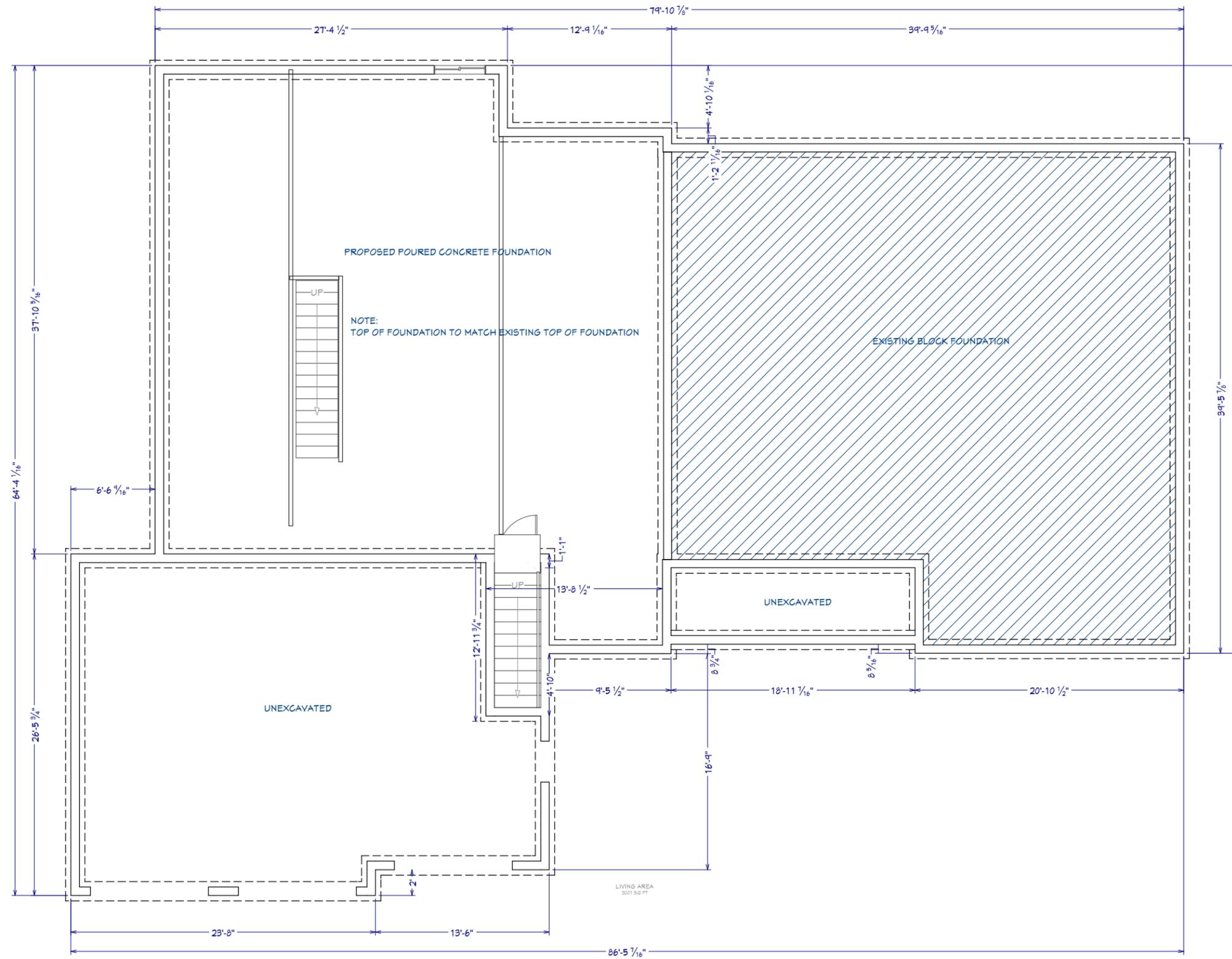
DATE:

3/1/2026

SCALE:

SHEET:

P-1



REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

FOUNDATION

ADDITION
15170 Gebhardt Rd
Elm Grove WI 53122

DRAWINGS PROVIDED BY:
CN BUILDERS LLC

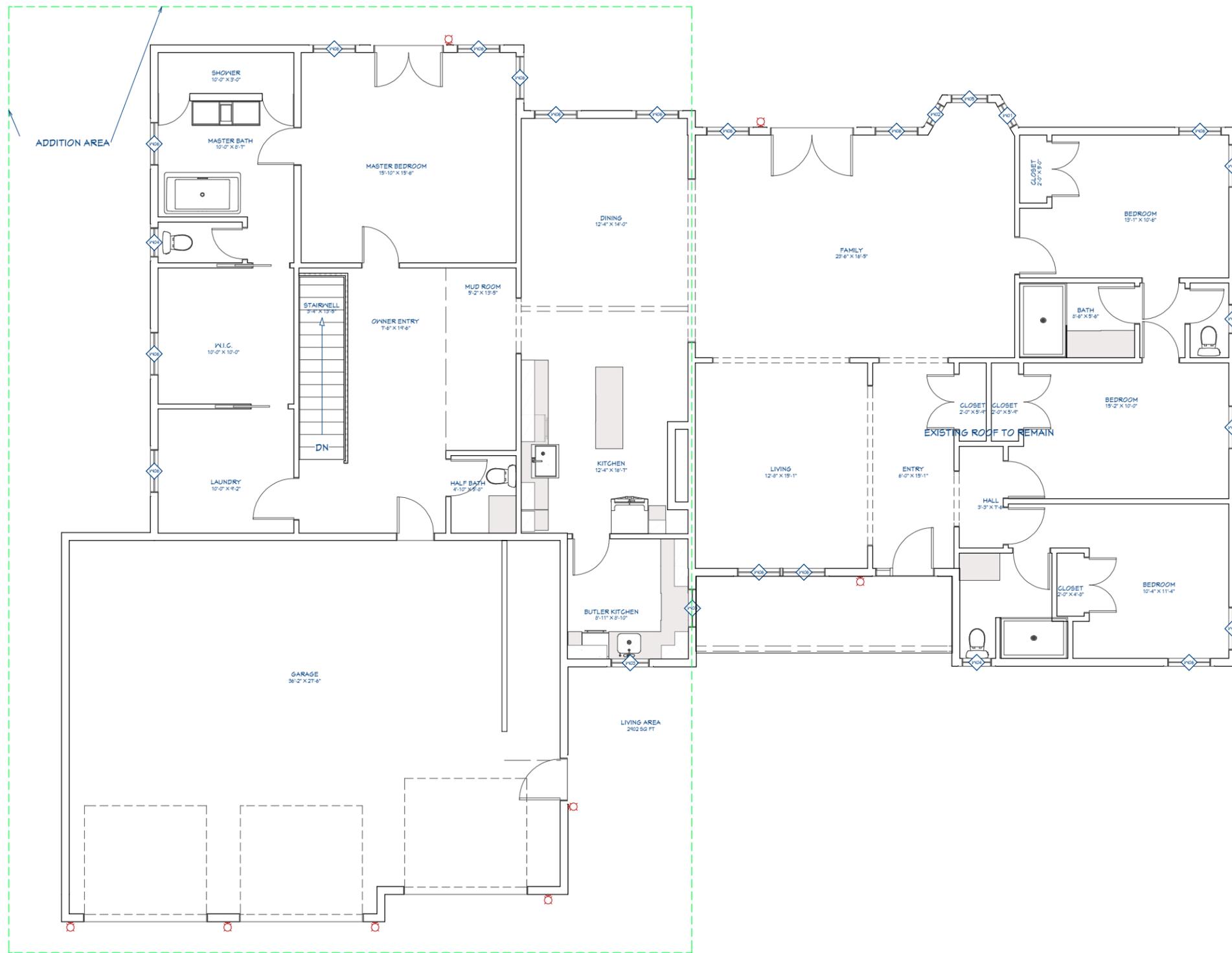
DATE:
3/1/2026

SCALE:

SHEET:

P-2

FOUNDATION
1/4 IN = 1 FT



WINDOW SCHEDULE							
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	RIS	EGRESS DESCRIPTION HEADER
	W01	1104GDH	1	1	1104GDH 23'X44"		DOUBLE HUNG 2'X8'X24" (2)
	W02	1840DH	1	1	1840DH 20 15/16'X44"		DOUBLE HUNG 2'X8'X23 15/16" (2)
	W03	21031DH	2	1	21031DH 34 3/4'X31 3/4"		DOUBLE HUNG 2'X8'X31 3/4" (2)
	W04	2235DH	3	1	2235DH 26 3/4'X41 3/4"		DOUBLE HUNG 2'X8'X26 3/4" (2)
	W05	2840DH	1	1	2840DH 33'X44"		DOUBLE HUNG 2'X8'X36" (2)
	W06	3241DH	1	1	3241DH 35 3/4'X51 3/4"		DOUBLE HUNG 2'X8'X41 3/4" (2)
	W07	4040RS	1	0	4040RS 44'X44"	YES	RIGHT SLIDING 2'X8'X52" (2)

REVISION TABLE	
NUMBER	DATE / REVISION BY / DESCRIPTION

MAIN FLOOR

ADDITION
 15170 Gebhardt Rd
 Elm Grove WI 53122

DRAWINGS PROVIDED BY:
CN BUILDERS LLC

DATE:

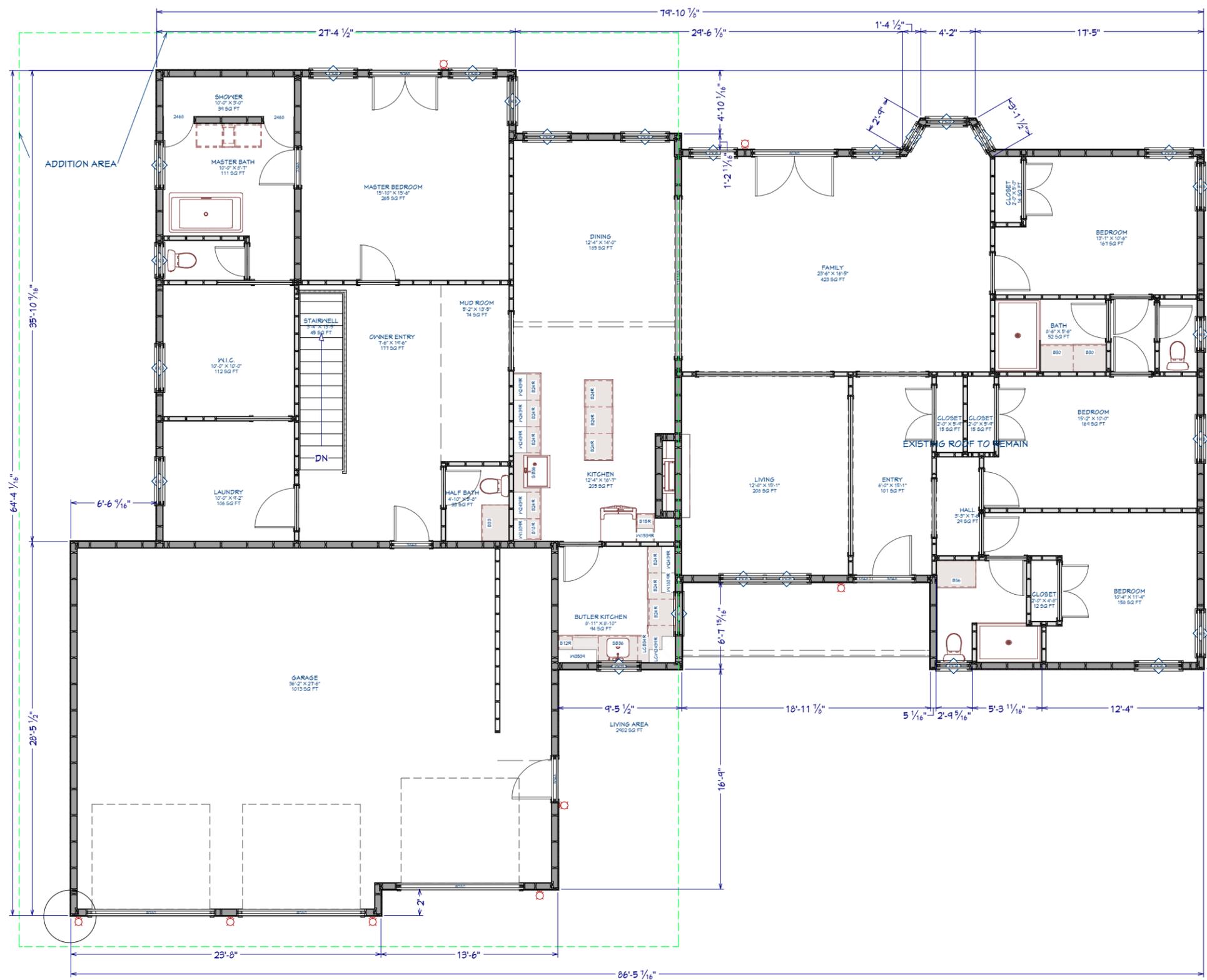
3/1/2026

SCALE:

SHEET:

P-3

○ **1ST FLOOR**
 1/4 IN = 1 FT



1ST FLOOR
1/4 IN = 1 FT

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

FRAMING PLAN

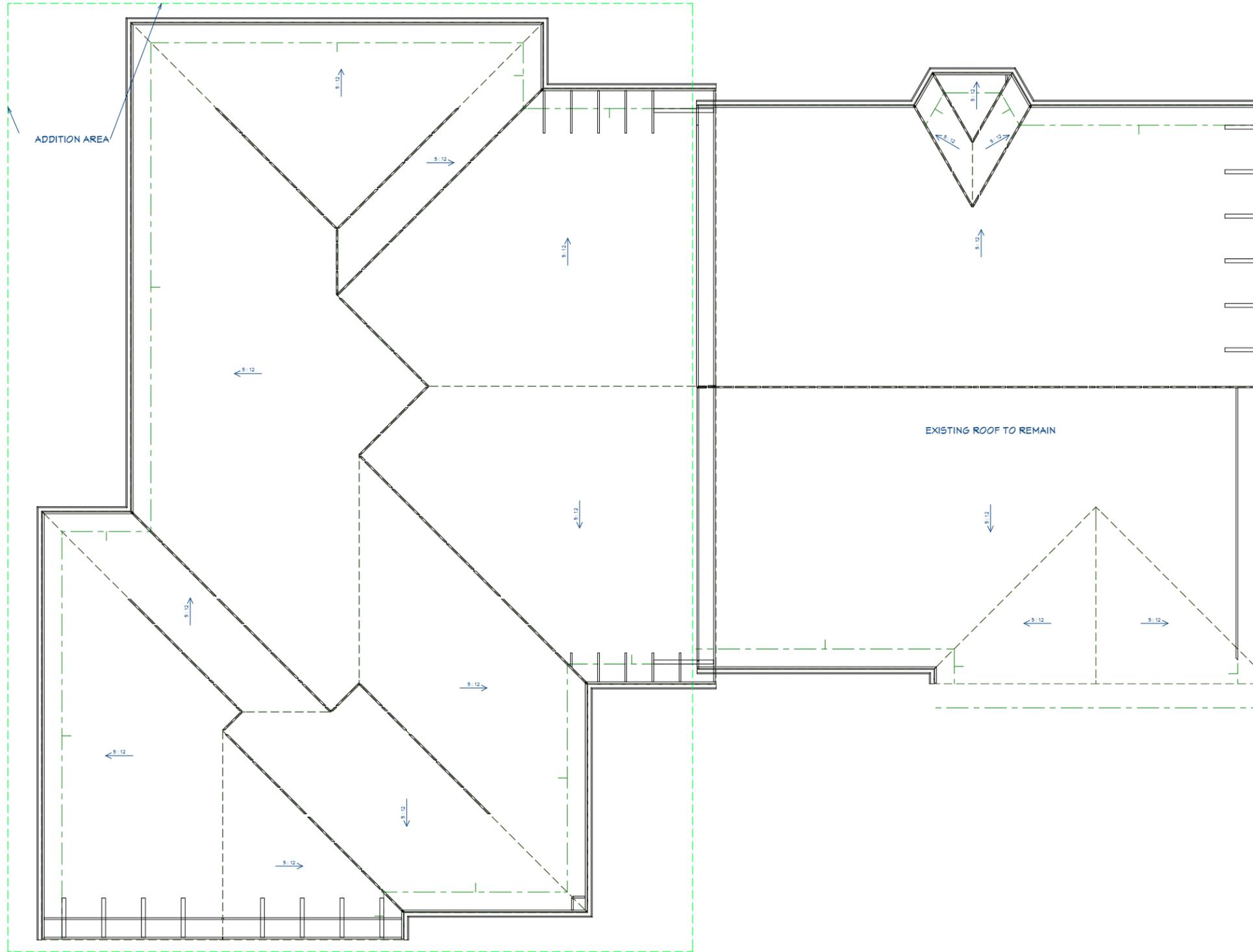
ADDITION
15170 Gebhardt Rd
Elm Grove WI 53122

DRAWINGS PROVIDED BY:
CN BUILDERS LLC

DATE:
3/1/2026

SCALE:

SHEET:
P-4



ROOF PLANS

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

ROOF PLANS

ADDITION
15170 Gebhardt Rd
Elm Grove WI 53122

DRAWINGS PROVIDED BY:
CN BUILDERS LLC

DATE:

3/1/2026

SCALE:

SHEET:

P-5

FOUNDATION INFORMATION

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 - FINAL WALL/POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
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 - WINDOWS/DOORS TO BE SET IN CONCRETE WALL-MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
 - BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.

WALL INFORMATION

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- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)

FLOOR SYSTEMS

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4" CONCRETE SLAB
- **FIRST FLOOR**
12" I-JOIST @ 19.2" O.C.
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40# LL, 15# DL
- ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
10# DL FOR TILE FLOOR
13# DL FOR GYPCRETE (1.5" THICK)
20# DL FOR FIREPLACE FACE/HEARTH
25# DL FOR GRANITE/QUARTZ
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 - DURATION OF LOAD: 1.00% ROOF SYSTEMS

ROOF SYSTEMS

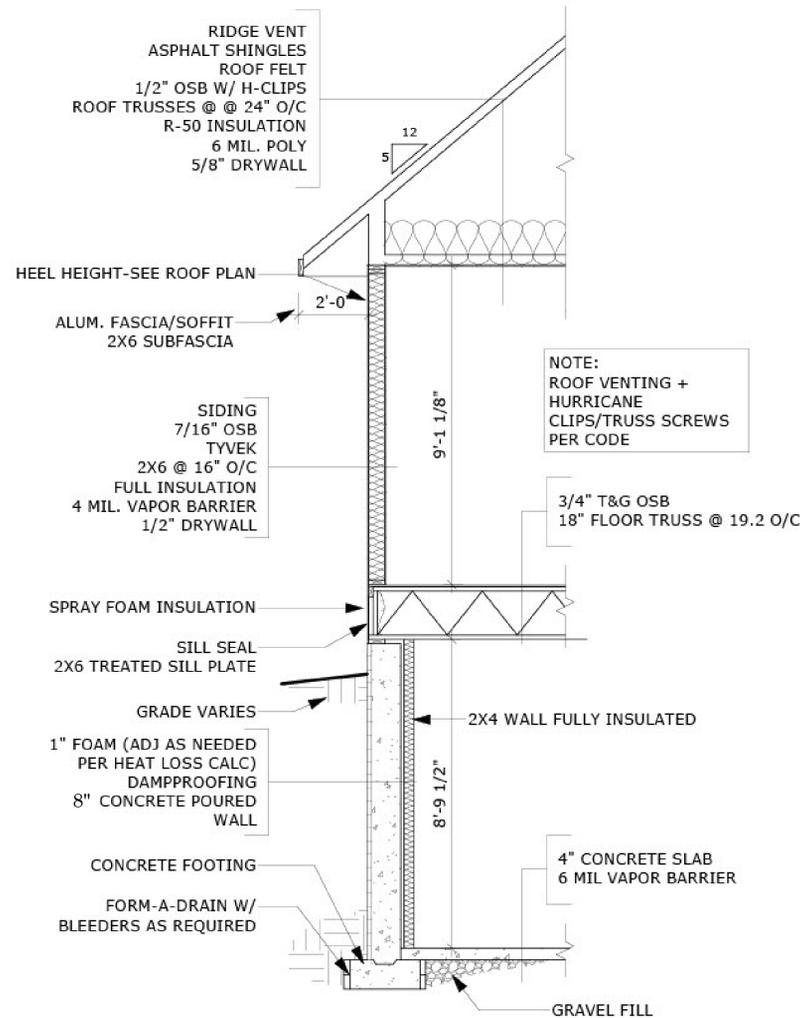
- ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR: ZONE 2
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30# TGLL, 10# TCDL, 10# BCDL
 - DEFLECTION: LL=L/240, TL=L/180
 - DURATION OF LOAD: 1.15%

HEADERS

- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10 HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.
FIRST FLOOR @ 8'-0" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

GENERAL INFORMATION

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- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
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- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE



TYPICAL WALL SECTION

1/4" = 1'-0"

IMPERVIOUS SURFACE CALCULATION

FIRST FLOOR AREA: 2,902.00 SQ FT 9.70%
 GARAGE FLOOR AREA: 940.49 SQ FT 3.14%
 WALK AND PORCH AREA: 213.46 SQ FT 0.71%
 DRIVEWAY AREA: 2,419.66 SQ FT 8.09%

TOTAL COVERAGE AREA: 6,475.61 SQ FT
 TOTAL LOT AREA: 29,920.00 SQ FT
 TOTAL LOT COVERAGE %: 21.64%

Parcel 1098987

15170 Gebhardt Road
 Village of Elm Grove
 Waukesha County, WI

LEGEND

- 000.0 Garage Floor Grade at Door
- x 000.00 Proposed Grade
- + (000.0) Existing/Match Grade
- Direction of Drainage
- ~ BMP's for Erosion Control
- Lot Corner
- ▨ Proposed Tracking Pad
- FF Finished Floor Grade
- ⊛ Proposed Inlet Protection
- ▨ Demo Existing
- ▨ New Addition and New 3 Car Garage

Site Plan For:
 CWE Renovations
 1510 Constitution Dr.
 Brookfield, WI 54045



Mitchell D. Bauer Date
 Professional Engineer No. E-46552

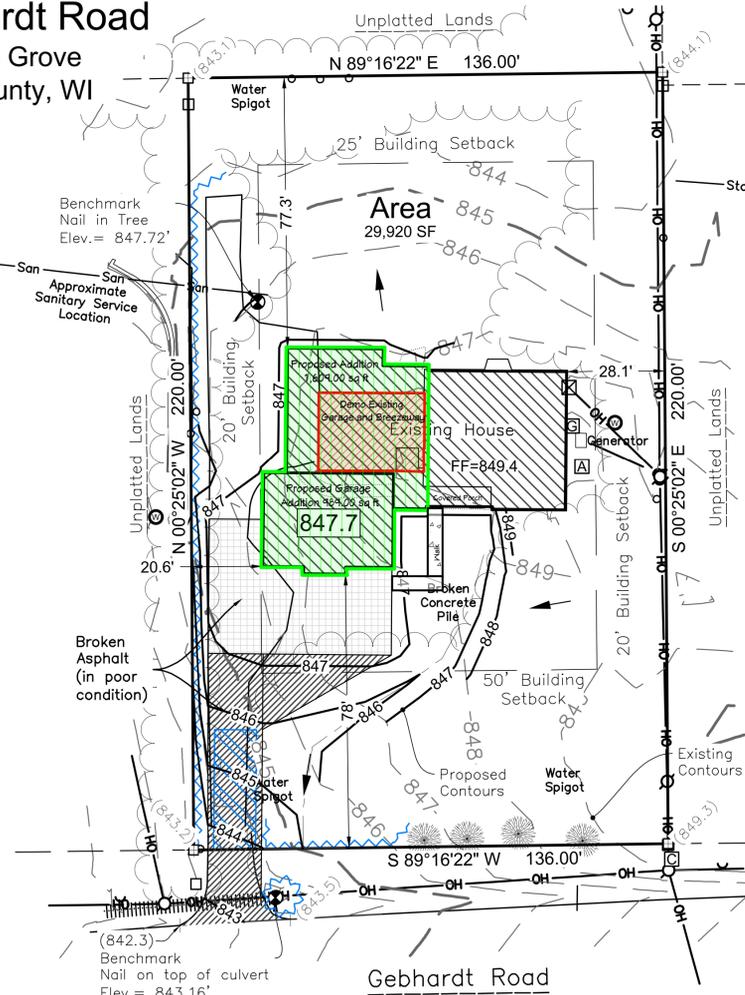


Scale 1" = 40'

Bearings are referenced to the Waukesha County Coordinates



12/22/2025 1:39 PM J:\Projects\9157cwe\dwg\Civil 3D\9157Site.dwg Printed by: mitch



Tax Key # 1098987
 Notes:

The shown location of Best Management Practice (BMP) for erosion control based upon final drainage pattern. Additional BMPs shall be placed where necessary during construction, dependent on existing site conditions.

Dimensions are to the exterior foundation wall, not including the brick ledge.

Setback Requirements
 Front: 50'
 Rear: 25'
 Sides: 20'

File: 9157Site.dwg
 Date: 12/22/2025
 Drafted By: mitch
 Sheet: 1

REVISION TABLE	DESCRIPTION
NUMBER	DATE
1	12/7/2025
	DN
	GA
	RS
	SI
	ST
	TR
	UN

SITE PLAN

ADDITION
 15170 Gebhardt Rd
 Elm Grove WI 53122

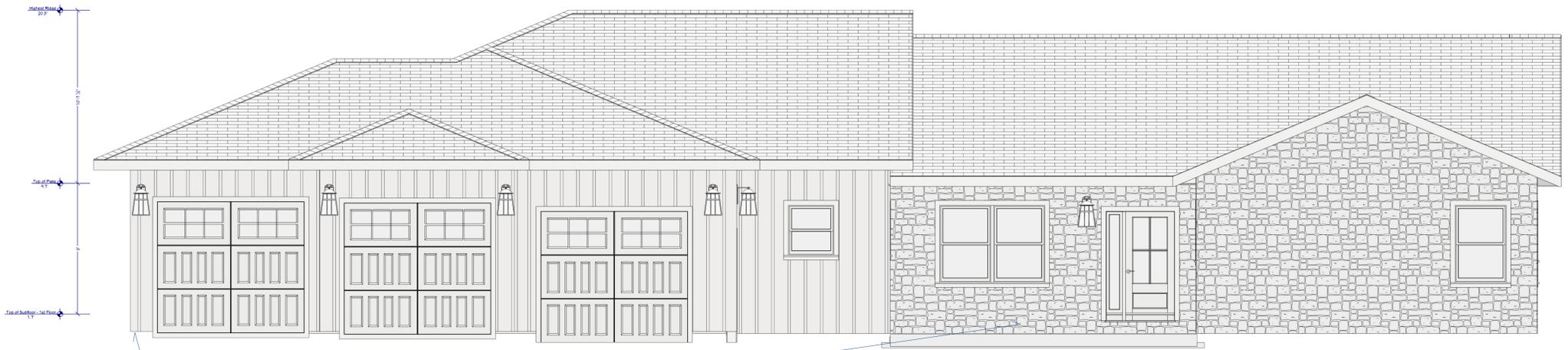
DRAWINGS PROVIDED BY:
 CN BUILDERS LLC

DATE:

1/13/2026

SCALE:

SHEET:



PROPOSED:
SMART LP SIDING-BOARD AND BATTEN

E1 FRONT ELEVATION
1/4 IN = 1 FT



EXISTING LENON STONE TO REMAIN

E2 REAR ELEVATION
1/4 IN = 1 FT

PROPOSED:
SMART LP SIDING-BOARD AND BATTEN



PROPOSED:
SMART LP SIDING-BOARD AND BATTEN

E3 WEST ELEVATION
1/4 IN = 1 FT



PROPOSED:
SMART LP SIDING-BOARD AND BATTEN

E4 EAST ELEVATION
1/4 IN = 1 FT

EXISTING LENON STONE TO REMAIN

NOTE:

- All existing limestone to remain in place-nude natural color
- Addition siding to be LP Smart siding - Shenwin Williams Charcoal color
- Garage doors to be natural wood color
- All lighting sconces to be - 3 - light matte black aluminum LED outdoor wall lantern sconce



NUMBER	DATE	REVISION BY	DESCRIPTION

ELEVATIONS

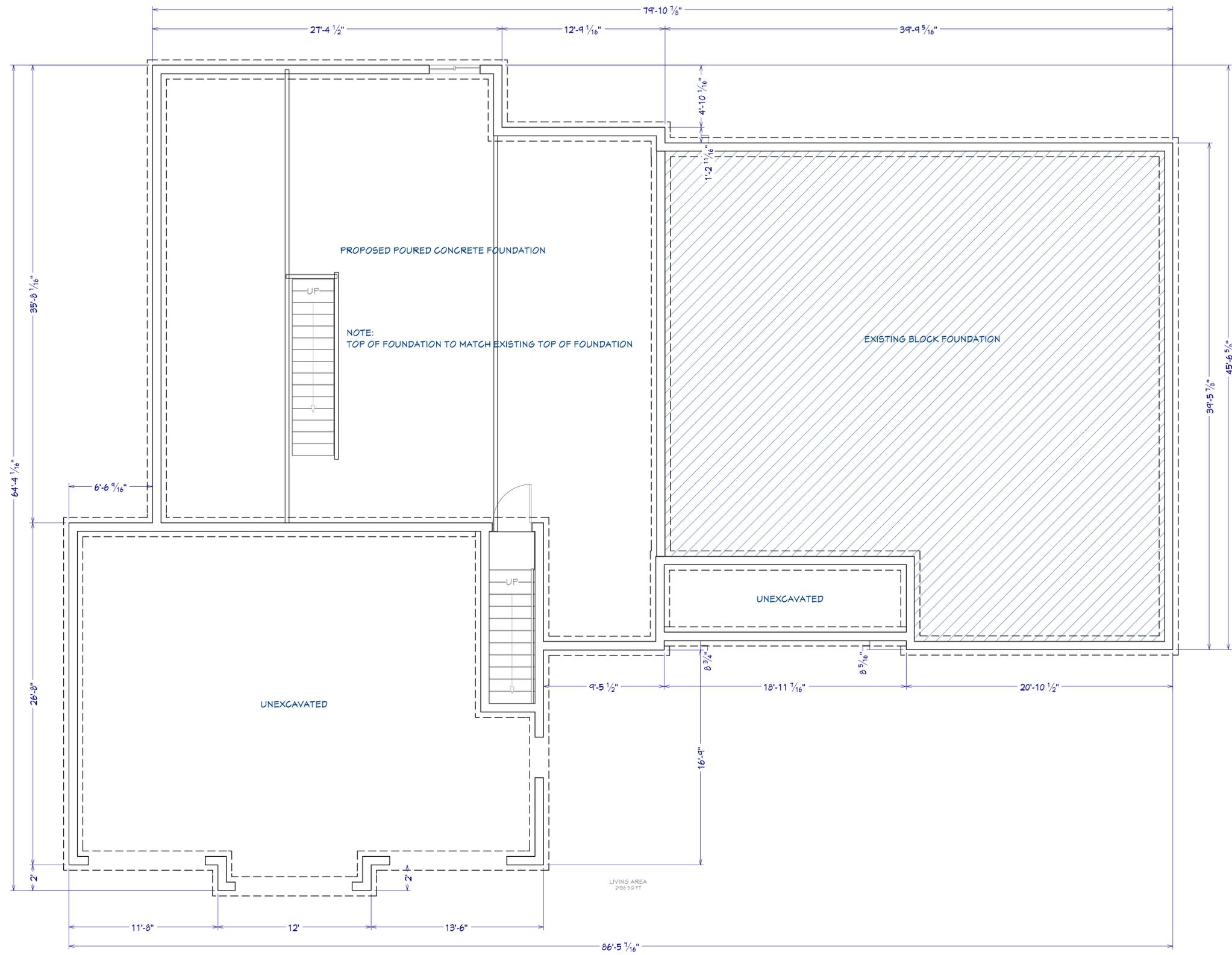
ADDITION
15170 Gebhardt Rd
Elm Grove WI 53122

DRAWINGS PROVIDED BY:
CN BUILDERS LLC

DATE:
1/13/2026

SCALE:

SHEET:
P-1



○ FOUNDATION
 1/4 IN = 1 FT

NUMBER	DATE	REVISION BY	DESCRIPTION

FOUNDATION

ADDITION
 15170 Gebhardt Rd
 Elm Grove WI 53122

DRAWINGS PROVIDED BY:
 CN BUILDERS LLC

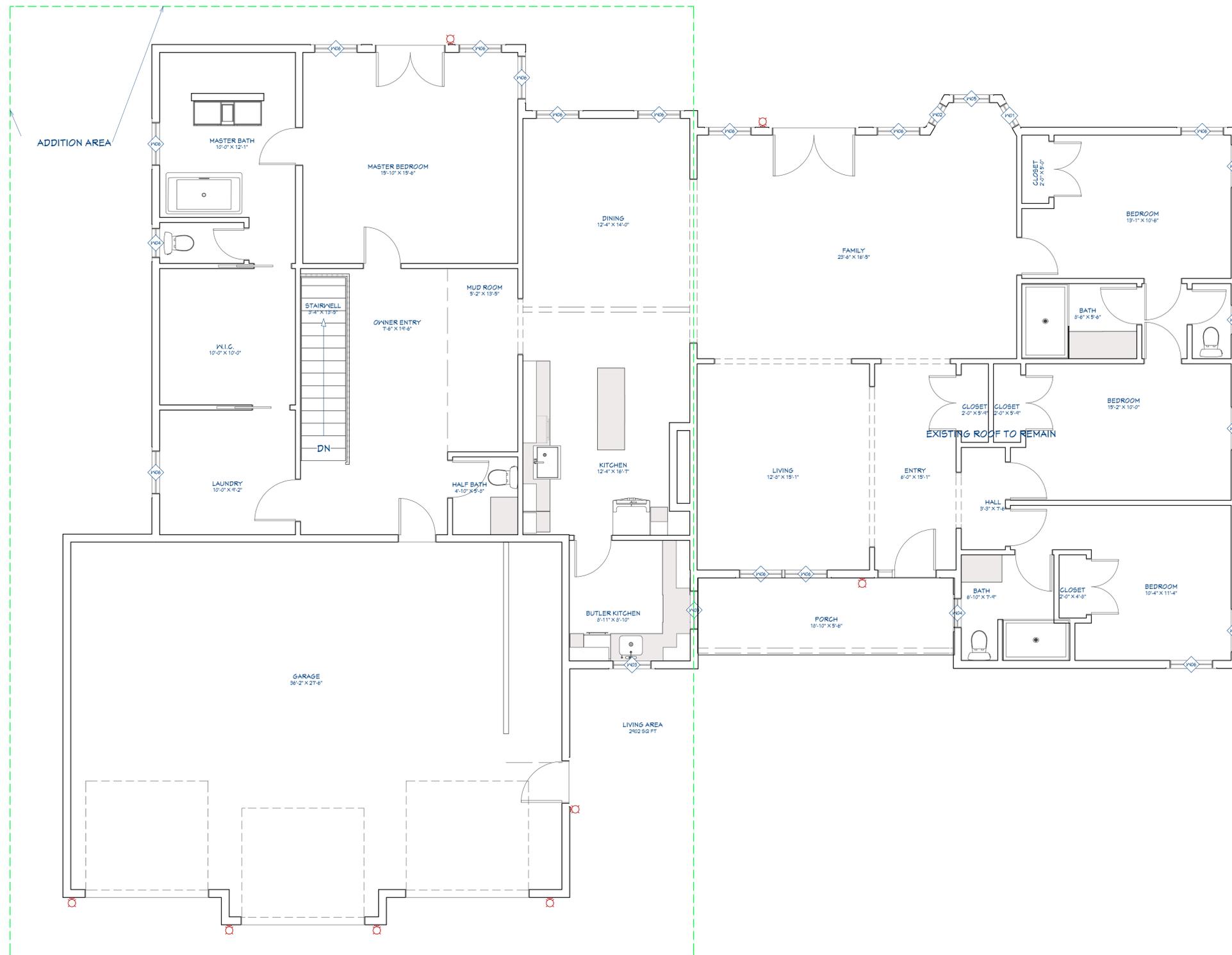
DATE:

1/13/2026

SCALE:

SHEET:

P-2



3D EXTERIOR ELEVATION	WINDOW SCHEDULE							EGRESS	DESCRIPTION	HEADER
	NUMBER	LABEL	QTY	FLOOR	SIZE	R/O				
	W01	11040DH	1	1	11040DH	23"X49"			DOUBLE HUNG	2'X6"X26" (2)
	W02	1840DH	1	1	1840DH	20.15/16"X49"			DOUBLE HUNG	2'X6"X23.15/16" (2)
	W03	21031DH	2	1	21031DH	34.3/4"X37.3/4"			DOUBLE HUNG	2'X6"X37.3/4" (2)
	W04	2235DH	3	1	2235DH	26.3/4"X41.3/4"			DOUBLE HUNG	2'X6"X23.3/4" (2)
	W05	2840DH	1	1	2840DH	33"X49"			DOUBLE HUNG	2'X6"X36" (2)
	W06	3249DH	16	1	3249DH	38.3/4"X37.3/4"			DOUBLE HUNG	2'X6"X41.3/4" (2)
	W07	4040RS	1	0	4040RS	44"X49"	YES		RIGHT SLIDING	2'X9"X52" (2)

REVISION TABLE	
NUMBER	DATE

MAIN FLOOR

ADDITION
 15170 Gebhardt Rd
 Elm Grove WI 53122

DRAWINGS PROVIDED BY:
CN BUILDERS LLC

DATE:

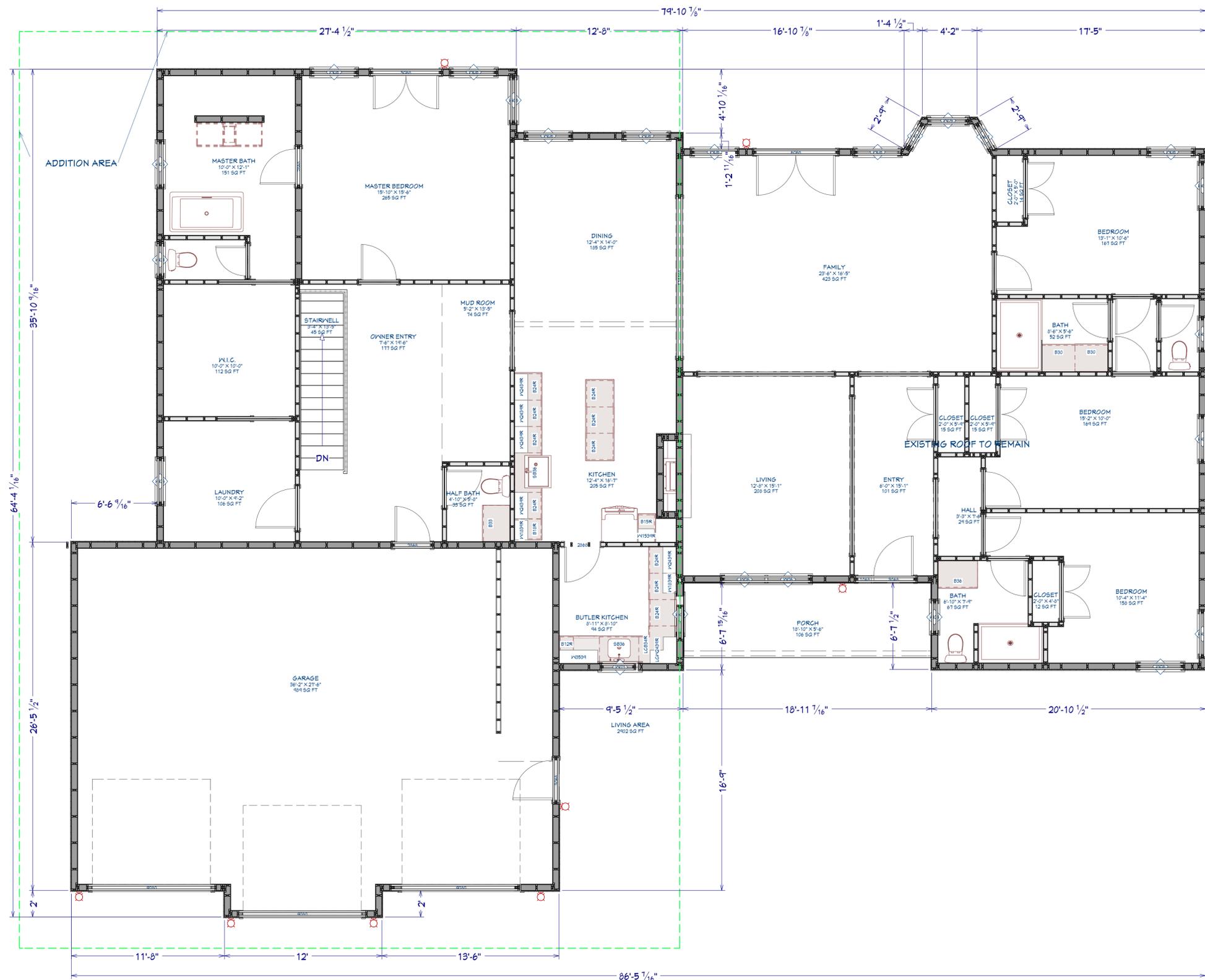
1/13/2026

SCALE:

SHEET:

P-3

○ **1ST FLOOR**
 1/4 IN = 1 FT



1ST FLOOR
1/4 IN = 1 FT

NUMBER	DATE	REVISION BY	DESCRIPTION

FRAMING PLAN

ADDITION
15170 Gebhardt Rd
Elm Grove WI 53122

DRAWINGS PROVIDED BY:
CN BUILDERS LLC

DATE:

1/13/2026

SCALE:

SHEET:

P-4

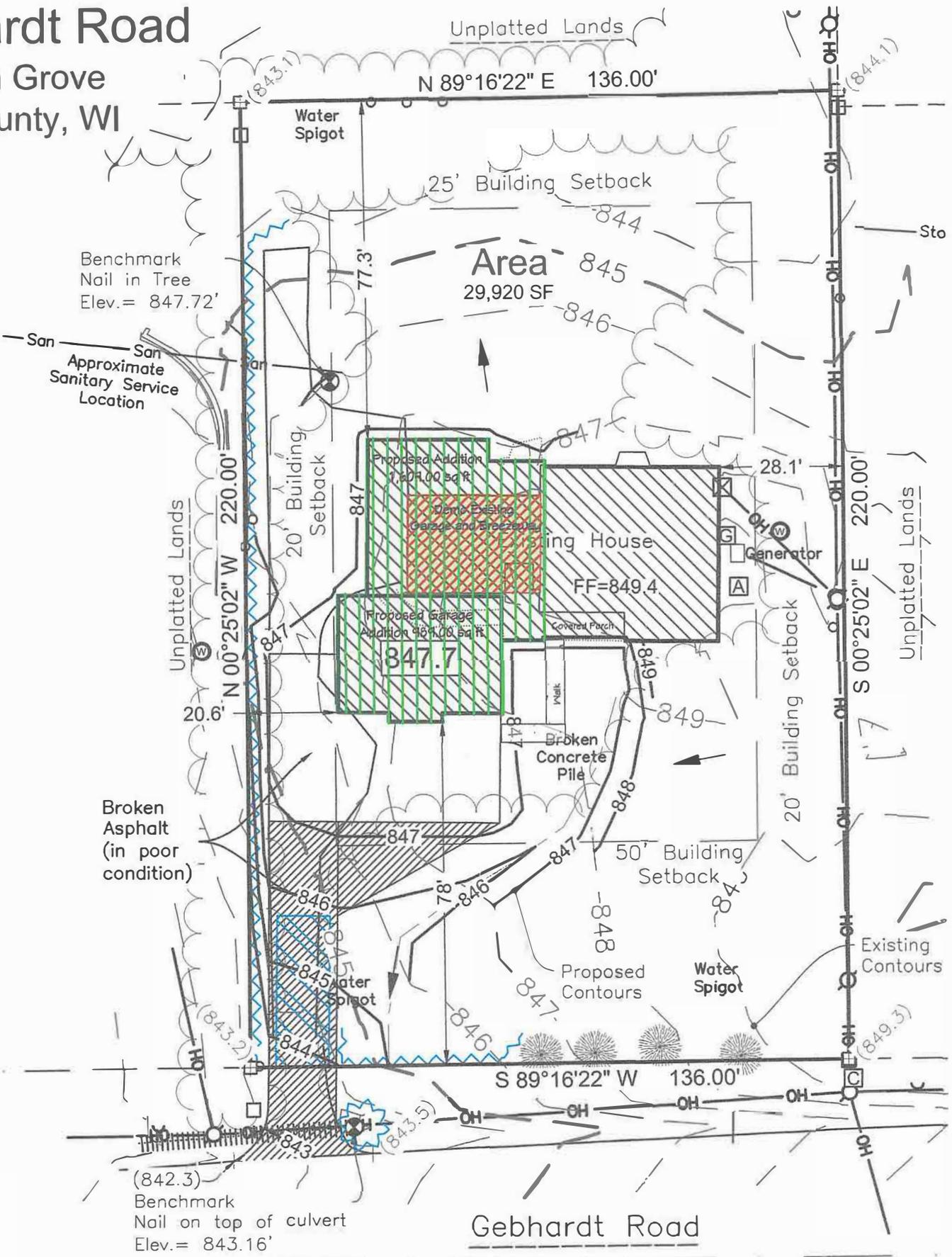
Parcel 1098987

15170 Gebhardt Road
 Village of Elm Grove
 Waukesha County, WI

LEGEND

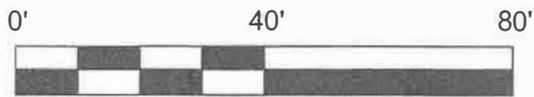
- 000.0 Garage Floor Grade at Door
- X 000.00 Proposed Grade
- + (000.0) Existing/Match Grade
- Direction of Drainage
- BMP's for Erosion Control
- Lot Corner
- Proposed Tracking Pad
- FF Finished Floor Grade
- Proposed Inlet Protection

Site Plan For:
 CWE Renovations
 1510 Constitution Dr.
 Brookfield, WI 54045



Mitchell Bauer
 2025.12.22 13:41:22-06'00"

Mitchell D. Bauer Date
 Professional Engineer No. E-46552



Scale 1" = 40'

Bearings are referenced to the
 Waukesha County Coordinates

Tax Key # 1098987
 Notes:

The shown location of Best Management Practice (BMP) for erosion control based upon final drainage pattern. Additional BMPs shall be placed where necessary during construction, dependent on existing site conditions.

Dimensions are to the exterior foundation wall, not including the brick ledge.

Setback Requirements
 Front: 50'
 Rear: 25'
 Sides: 20'

IMPERVIOUS SURFACE CALCULATION		
LOT AREA:	29,920.00 SQ FT	
FIRST FLOOR AREA:	2,902.00	SQ FT 9.70%
GARAGE FLOOR AREA:	940.49	SQ FT 3.17%
WALK AND PORCH AREA:	213.46	SQ FT 0.71%
DRIVEWAY AREA:	2,419.66	SQ FT 8.09%
TOTAL COVERAGE AREA:	6,475.61	SQ FT 21.64%



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1866
 www.davel.pro

File: 9157Site.dwg
 Date: 12/22/2025
 Drafted By: mitch
 Sheet: 1

Tauscher Exterior Alteration:

- New LP Smartside siding and trim, aluminum soffit and fascia, gutters and downspouts
- Remove one column on front porch
- Add eyebrow roof over garage, new garage door



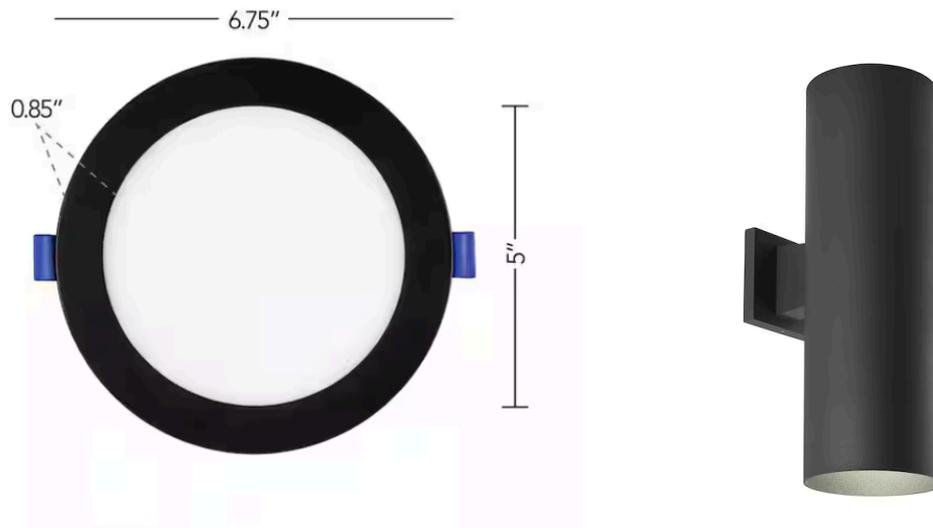
AFTER



- LP Smartside board and batten and lap siding in Sherwin Williams 7062 Rock Bottom. Matching SW 7062 Rock Bottom soffit, fascia, and window trim.
 - Remove one column from front porch to improve visibility and open up a bigger seating area.
 - LP Smartside LP® ExpertFinish® Naturals Collection™ Colors in Saffron Cedar accent above windows.
 - LP Smartside LP® ExpertFinish® Naturals Collection™ Colors in Saffron Cedar nickel gap LP soffit/ceiling on front porch with built in 6" slim recessed LED down lights with black trim.
 - LP Smartside LP® ExpertFinish® Naturals Collection™ Colors in Saffron Cedar to wrap columns.
 - Custom cedar brackets for front door area 24"x72" custom stain to match LP Saffron Cedar
 - New black gutters and round black downspouts.
- *Note: We are not changing the roofline on the front porch at all. The drawing has a covered porch option we did not choose to do. We are not putting lights in the columns themselves, only the ceiling.

Maxxima (Home Depot)

6 in. Slim Recessed LED Downlight, Black Trim, Canless IC Rated, 1000 Lumens, 5 CCT Color Selectable 2700K-5000K



Progress Lighting (Lowes) Cylinder 2 -Light 18-in H Black Hardwired Outdoor Wall Light Item #565069 | Model #P5642-31

[Custom Bracket from TimberBuildmillwork.com](http://TimberBuildmillwork.com)

Custom Cedar 2PC Bracket per drawing - P- 24" x H- 72" T- 7 1/4" x BT- 3 1/2" -
Smooth Finish

3 PC Bracket - Small

Horizontal member - 3 x 8

Angled Brace support - 4 x 12



Garage Before



Garage After



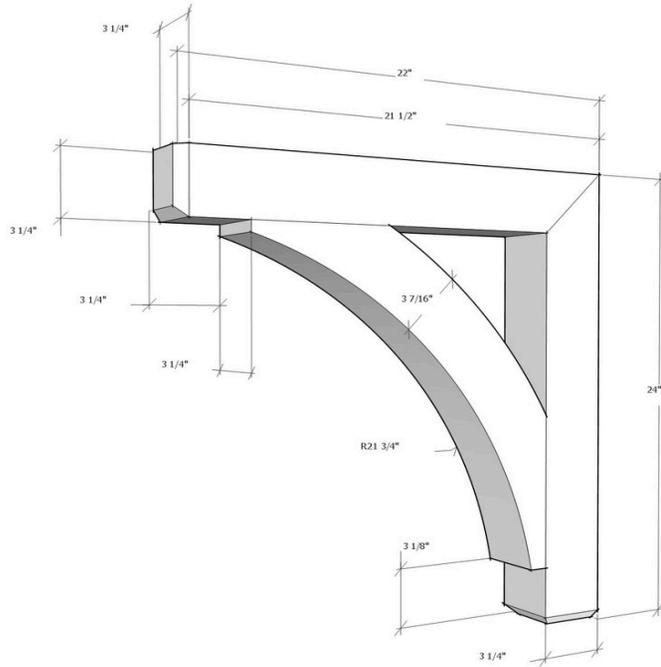
Image is approximate representation

- Extend the existing roofline across the garage to make an eyebrow roof over the garage. 16ft garage opening. 19ft eyebrow roof.
- LP Smartside LP® ExpertFinish® Naturals Collection™ Colors soffit in Saffron Cedar and built in 6” slim recessed LED lights with black trim.
- Siding and fascia is SW 7062 Rock Bottom.
- Modern 22”x24” cedar brackets on either side of the garage from TimberBuild.
- Roof to match existing Owens Corning Black Sable shingles.
- Black gutters and round black downspouts
- Update garage door to a steel wood-look.

Modern steel wood-look garage door (Custom Haas 700 series)



TimberBuild cedar bracket



Owens Corning Black Sable singles (match existing)



Color Options

Wood Grain	
	Bi-Directional American Walnut*
	Bi-Directional English Oak
	Bi-Directional Ash
	Uni-Directional American Walnut
	Uni-Directional English Oak
	Uni-Directional Ash
	Uni-Directional Mahogany

The pre-painted wood grain finish is baked on to ensure a durable and long lasting door. Steel wood grain colors feature a 10 Year finish warranty. Bi-Directionals feature a light stucco embossment. Uni-Directionals feature a wood grain embossment. *Bi-Directional American Walnut not available on 70, 71, 72, 73, 74, 80, 81, 82 & 90 models

Solid	
	Polar White
	Almond
	Sandstone
	Bronze
	Brown
	Gray
	Charcoal
	Carbon Black**

**Additional charge for Carbon Black which includes a cool chemistry paint finish but is not recommended for projects with extreme exposures to heat and sunlight.

Due to the printing process, colors may vary.

For accurate color samples, contact a Haas Door dealer for a color selector.



FEATURES

- 1 3/4" Thick with Full Thermal Break
- 0.093 Tested U-Factor
- Environmentally Compliant Polyurethane Insulation
- 26-Gauge Galvanized Steel
- Available with Wind Load & Impact Options
- Decorative Glass Options (pg 24)
- SelectView Options (pg 22-23)
- 35 Window Options (pg 25-27)
- Industry Leading Warranty
 - 10 Year, Finish
 - 6 Year Hardware
 - 3 Year Spring
 - 1 Year All Other Components



A Full Thermal Break is used in the tongue-and-groove construction of all 700 series doors. This rigid vinyl extrusion seals the joints and eliminates metal-to-metal contact, which limits the transfer of temperature.



MIAMI-DADE COUNTY APPROVED



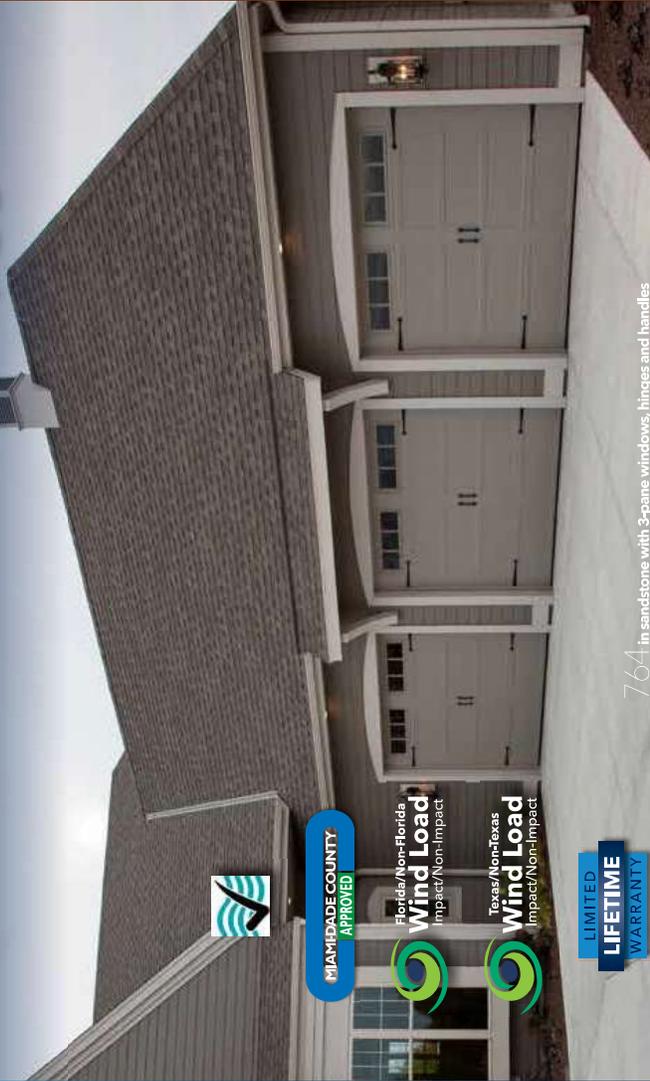
Florida/Non-Florida Wind Load Impact/Non-Impact



Texas/Non-Texas Wind Load Impact/Non-Impact

LIMITED LIFETIME WARRANTY

700 series



764 in sandstone with 3-pane windows, hinges and handles



764 in uni-directional english oak with TL windows and selectview option (see pg 22)



761 in polar white with 3-pane windows, hinges and handles



767 in charcoal with 6-pane windows

Panel Options

	Flush Model 710 All colors except Bi-Directional wood grains Carriage Windows p24 & 25 Ranch Windows p24 & 26 TL Windows p26 Standard Windows p24 & 27
	V-Groove Model 712 All colors except Bi-Directional wood grains TL Windows p26

	Ribbed Short Panel Model 760 Carriage Windows p24 & 25 Ranch Windows p24 & 26 Standard Windows p24 & 27
	Recessed Short Panel Model 761 Carriage Windows p24 & 25 Ranch Windows p24 & 26 Standard Windows p24 & 27

	Ribbed Long Panel Model 764 Carriage Windows p24 & 25 Ranch Windows p24 & 26
	Recessed Long Panel Model 763 (Not available in 24" sections) Carriage Windows p24 & 25 (Not available in 24" sections) Ranch Windows p24 & 26

	Raised Ranch Panel Model 770 Ranch Windows p24 & 26 Carriage Windows p24 & 25 Standard Windows p24 & 27
	Raised Standard Panel Model 780 Standard Windows p24 & 27 Carriage Windows p24 & 25 Ranch Windows p24 & 26

	Raised Sculptured Panel Model 790 Standard Windows p24 & 27 Carriage Windows p24 & 25 Ranch Windows p24 & 26
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LAP SIDING

Cedar Texture

Products:

- LP® SmartSide® 38 Series Lap Siding
- LP® SmartSide® ExpertFinish® 38 Series Lap Joint Siding

DESIGNED & RATED FOR EXTERIOR USE

May be attached direct to studs; see application instructions for fastening and installation requirements
APA-Certified Lap Siding

Substrate:

- Features engineered wood strand technology with precisely-sized, shaped, and layered wood strands from Aspen logs
- Made using LP's proprietary SmartGuard® process, which includes industrial-grade resins, water-resistant waxes, zinc borate, and a resin-saturated overlay



Sustainability Info:

- ASTM-Verified Carbon Negative
- Made with wood, a renewable resource, vetted through strict Sustainable Forestry Initiative® (SFI®) standards



Primed Specifications and PIDs:



PRODUCT	LENGTH	ACTUAL WIDTH	THICKNESS	MAX SPAN RATING	WEIGHT	PID
38 Series Cedar Texture Lap	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	25796
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	25797
	16 ft. (192 in.) (4.9 m)	11.84 in. (301 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	25799

38 Series Lap - Cedar Texture

3/8" Nominal Thickness
Primed Lap: 6" | 8" | 12"



Application Instructions:

LPCorp.com/Literature



38 Series Lap - Cedar Texture

3/8" Nominal Thickness
ExpertFinish® Core Collection Lap: 6" | 8"
NATURALS COLLECTION™ Lap: 8"



ExpertFinish® Color Specifications and PIDs:

38 SERIES EXPERTFINISH® CEDAR TEXTURE LAP JOINT SIDING



COLOR	LENGTH	ACTUAL WIDTH	THICKNESS	MAX SPAN RATING	WEIGHT	PID	
Snowscape White	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41715	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42271	
Sand Dunes	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41841	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42272	
Desert Stone	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41842	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42274	
Quarry Gray	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41837	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42288	
Prairie Clay	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41834	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42278	
Terra Brown	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41845	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42277	
Harvest Honey	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	45327	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	45284	
Timberland Suede	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41843	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42269	
Garden Sage	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	45328	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	45325	
Redwood Red	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41840	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42293	
Tundra Gray	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41846	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42300	
Summit Blue	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41844	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42273	
Rapids Blue	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41839	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42287	
Cavern Steel	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41835	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42301	
Midnight Shadow	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	45329	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	45326	
Abyss Black	16 ft. (192 in.) (4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	41774	
	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	42279	
NEW NATURALS COLLECTION™ LAP	Washed White	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	46731
	Smoky Slate	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	46730
	Bonsai Black	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	46729
	Weathered Walnut	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	46728
	AGED Amber	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	46727
	Saffron Cedar	16 ft. (192 in.) (4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	16 in.	1.5 PSF	46726

NICKEL GAP SIDING

Cedar Texture

Products:

- LP® SmartSide® Nickel Gap Siding
- LP® SmartSide® ExpertFinish® Nickel Gap Siding

DESIGNED & RATED FOR EXTERIOR USE

May be attached direct to studs; see application instructions for fastening and installation requirements

Substrate:

- Features engineered wood strand technology with precisely-sized, shaped, and layered wood strands from Aspen logs
- Made using LP's proprietary SmartGuard® process, which includes industrial-grade resins, water-resistant waxes, zinc borate, and a resin-saturated overlay



Sustainability Info:

- Made with wood, a renewable resource, vetted through strict Sustainable Forestry Initiative® (SFI®) standards



Profile allows for "nickel-sized" horizontal spacing between boards, accommodating a gap range of 1/16" to 1/8" after installation.

Application Instructions:
LPCorp.com/Literature



PRODUCT	LENGTH	ACTUAL WIDTH	THICKNESS	WEIGHT	PID
LP® Nickel Gap Flashing	10 in. (254 mm)	4 in. (101.6 mm)	0.024 in. (0.61 mm)	9.4 LBS 100 pcs/box	46180

Innovative Design

LP® SmartSide® Nickel Gap Siding features locking flanges with a fastener groove that hides nails.



Primed Specifications and PIDs:



PRODUCT	LENGTH	ACTUAL WIDTH	THICKNESS	MAX SPAN RATING	WEIGHT	PID
Cedar Texture Nickel Gap Siding	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	45545

ExpertFinish® Color Specifications and PIDs:



COLOR	LENGTH	ACTUAL WIDTH	THICKNESS	MAX SPAN RATING	WEIGHT	PID
Snowscape White	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46558
Sand Dunes	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46557
Desert Stone	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46549
Quarry Gray	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46554
Prairie Clay	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46553
Terra Brown	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46560
Harvest Honey	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46551
Timberland Suede	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46561
Garden Sage	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46550
Redwood Red	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46556
Tundra Gray	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46562
Summit Blue	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46559
Rapids Blue	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46555
Cavern Steel	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46548
Midnight Shadow	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46552
Abyss Black	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46547
Washed White	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46755
Smoky Slate	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46753
Bonsai Black	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46751
Weathered Walnut	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46749
Aged Amber	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46747
Saffron Cedar	16 ft. (192 in.) (4.9 m)	7.88 in (200 mm)	0.495 in. (12.6 mm)	24 in.	1.5 PSF	46745

NEW NATURALS COLLECTION™
NICKEL GAP SIDING

See LPCorp.com for product, warranty, and installation details. Metric units are rounded. PSF = Pounds Per Square Foot
Contact your LP Sales Rep for product availability.
All colors shown are representative and may not be an exact match.

PANEL SIDING

Cedar Texture

ExpertFinish® Color Specifications and PIDs:

38 SERIES CEDAR TEXTURE – NO GROOVE
DUAL USE SIDING AND SOFFIT PANEL



Pair with LP® SmartSide®
trim for board & batten
style applications

PRODUCT	ACTUAL WIDTH	THICKNESS	MAX SPAN RATING	WEIGHT
38 Series Cedar Texture No Groove Square Edge (NGSE) Dual Use Siding and Soffit Panel* ★	47.81 in. (1 214 mm)	0.354 in. (9 mm)	16 in. Siding 24 in. Soffit	1.5 PSF

COLOR	LENGTH	PID
Snowscape White	8 ft. (96 in.) (2.4 m)	47097
	10 ft. (119.81 in.) (3043 mm)	47082
Sand Dunes	8 ft. (96 in.) (2.4 m)	47098
	10 ft. (119.81 in.) (3043 mm)	47083
Desert Stone	8 ft. (96 in.) (2.4 m)	47099
	10 ft. (119.81 in.) (3043 mm)	47084
Quarry Gray	8 ft. (96 in.) (2.4 m)	47100
	10 ft. (119.81 in.) (3043 mm)	47085
Prairie Clay	8 ft. (96 in.) (2.4 m)	47101
	10 ft. (119.81 in.) (3043 mm)	47086
Terra Brown	8 ft. (96 in.) (2.4 m)	47102
	10 ft. (119.81 in.) (3043 mm)	47087
Harvest Honey	8 ft. (96 in.) (2.4 m)	47103
	10 ft. (119.81 in.) (3043 mm)	47088
Timberland Suede	8 ft. (96 in.) (2.4 m)	47104
	10 ft. (119.81 in.) (3043 mm)	47089

COLOR	LENGTH	PID
Garden Sage	8 ft. (96 in.) (2.4 m)	47105
	10 ft. (119.81 in.) (3043 mm)	47090
Redwood Red	8 ft. (96 in.) (2.4 m)	47106
	10 ft. (119.81 in.) (3043 mm)	47091
Tundra Gray	8 ft. (96 in.) (2.4 m)	47107
	10 ft. (119.81 in.) (3043 mm)	47092
Summit Blue	8 ft. (96 in.) (2.4 m)	47108
	10 ft. (119.81 in.) (3043 mm)	47093
Rapids Blue	8 ft. (96 in.) (2.4 m)	47109
	10 ft. (119.81 in.) (3043 mm)	47094
Cavern Steel	8 ft. (96 in.) (2.4 m)	47110
	10 ft. (119.81 in.) (3043 mm)	47095
Midnight Shadow	8 ft. (96 in.) (2.4 m)	47111
	10 ft. (119.81 in.) (3043 mm)	47096
Abyss Black	8 ft. (96 in.) (2.4 m)	47112
	10 ft. (119.81 in.) (3043 mm)	47081

★ Can be used in siding or soffit applications

*Coordinates with LP® SmartSide® Trim for board and batten style applications.
See LPCorp.com for product, warranty, and installation details. PSF = Pounds Per Square Foot
All colors shown are representative and may not be an exact match.



LP® SmartSide® ExpertFinish® Cedar Texture Panel and Trim (Board & Batten Style) in Quarry Gray



R



Rep
cas



Hines Supply - Grayslake, IL

Address: Twin Lakes Sales Office
 301 E. Main Street, Suite 103
 Twin Lakes, WI 53181
 Phone: 847-231-1516



Quote

Website: www.hinessupply.com
 Email: enc.thornburgh@hinessupply.com

Quote Number:

Date: 3/2/2026

Sales Person: Andrew Preble

Customer Information

Name: Fassbinder Construction Inc.
Address:

Phone 1:
Phone 2:
Fax:
Contact:

Job Name: 12605 Greemoor Drive

Specifications

U.D = 53" x 81-5/8", R.O. = 53-3/4" x 82"
 O.M. of Exterior Trim = 55-1/2" x 82-7/8"

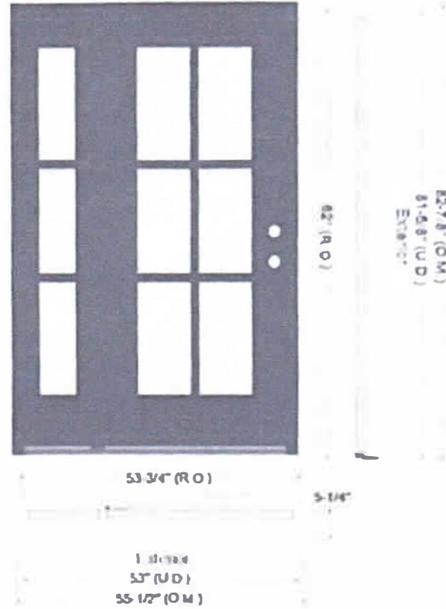


Image is viewed from Exterior!

Lead Time. Call for Lead Time

Item Description	Qty
3' 0" x 6' 8" S2000XN Smooth-Star - Flush Glazed Fiberglass Door w/Granite Glass (w/CUSTOM 1-1/8" Flat Profile SDL - 2Wx3H Pattern) - Left Hand Inswing (Tru-Guard Composite Edge)	1
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9206 Kwikset/Schlage J Series - Standard 1" x 2-1/4" Strike Prep	1
Set of Ball Bearing - Black Nickel Hinges	1
Single Sidelite (Left/Hinge Side) 14" Wide S2000XNSL w/Granite Glass (w/CUSTOM 1-1/8" Flat Profile SDL - 1Wx3H Pattern)	1
White Stipple Dura-Tech Frame (Continuous Head/Sill w/Exact-Size (Back-to-Back Jambs Wide where Possible)) - 5-1/4" Jamb w/Dura-Tech White Brickmould Exterior Trim (Applied) w/(1)Black Nickel Adjustable Strike Plate (for Lockset only)	1
Bronze Compression Weatherstrip	1
Tru-Defense Composite Adj. w/Dark Cap - Bronze Sill (Continuous)	1
PREFINISH: Paint Door & Sidelite Panels Interior & Exterior 105 OBSIDIAN/ONYX ; Paint Frame Interior and Exterior (and Exterior Trim) 105 OBSIDIAN/ONYX	1
Tru-Loc Door Anchors - Installed	1

Item Total

Thank you for your business, all quotes good for 30 days.

Distributed by:



Order Sub Total:

Tax:

Order Total:

Version #: 1.49.0-0

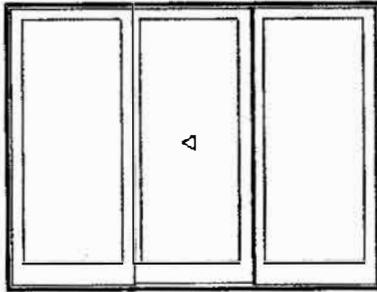
Version Date: 10/6/2025

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: Kitchen			
Qty: 1				

MARVIN



As Viewed From The Exterior

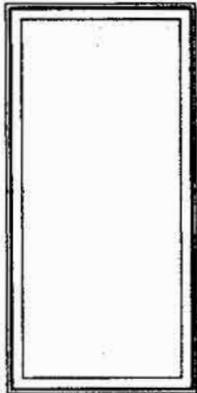
CN 9065
 FS 106 1/2" X 79 1/2"
 RO 107 1/2" X 80"
Egress Information
 Width: 29 31/64" Height: 74 47/64"
 Net Clear Opening: 15.30 SqFt
Performance Information
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.29
 Visible Light Transmittance: 0.5
 Condensation Resistance: 57
 CPD Number: MAR N-429-01120-00001
Performance Grade
 Licensee #1128
 101/1.S.2/A440-08
 LC-PG40 2705X2184 mm (106.5X86 in)
 Water Resistance: 6.06 psf
 LC-PG40 DP +40/-40
 FL10956

Stone White Exterior
 White Interior
 Elevate Sliding French Door OXO Left Hand
 CN 9065
 Rough Opening 107 1/2" X 80"
 Left Panel
 Stone White Exterior
 White Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 Center Panel
 Stone White Exterior
 White Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 Right Panel
 Stone White Exterior
 White Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 White Interior Weather Strip Package
 Multi-Point Lock
 Cambridge Handle White Keyed Exterior Primary Handle Set
 Cambridge Handle White Interior Primary Handle Set
 Keyed
 Keyed Alike - Keyed Alike Group 1
 Exterior Sliding Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 Bronze Ultrex Sill / Black Weather Strip
 4 9/16" Jambs
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit: Kitchen			
Qty: 2				

MARVIN

Stone White Exterior
 Stone White Interior
 Essential Casement Picture
 CN 3060
 Rough Opening 36" X 72"
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 2" Jambs
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

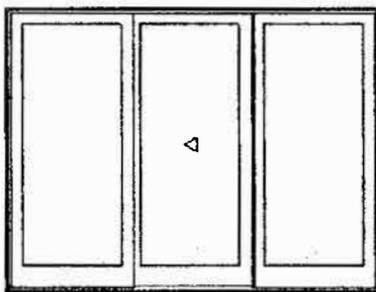


As Viewed From The Exterior

CN 3060
 FS 35 1/2" X 71 1/2"
 RO 36" X 72"
Egress Information
 No Egress Information available.
Performance Information
 U-Factor: 0.28
 Solar Heat Gain Coefficient: 0.33
 Visible Light Transmittance: 0.57
 Condensation Resistance: 58
 CPD Number: MAR-N-376-00880-00001
Performance Grade
 Licensee #1039
 AAMA/WDMA/CSA 101/I.S.2/A440-17
 LC-PG40 1207X2121 mm (47.5X83.5 in)
 Water Resistance: 6.06 psf
 LC-PG40 DP +40/-40
 FL13632

Line #3	Mark Unit: Family Room			
Qty: 1				

MARVIN



As Viewed From The Exterior

CN 9065
 FS 106 1/2" X 79 1/2"
 RO 107 1/2" X 80"
Egress Information
 Width: 29 31/64" Height: 74 47/64"
 Net Clear Opening: 15.30 SqFt
Performance Information
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.29
 Visible Light Transmittance: 0.5
 Condensation Resistance: 57
 CPD Number: MAR-N-429-01120-00001

Stone White Exterior
 White Interior
 Elevate Sliding French Door OXO Left Hand
 CN 9065
 Rough Opening 107 1/2" X 80"
 Left Panel
 Stone White Exterior
 White Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 Center Panel
 Stone White Exterior
 White Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 Right Panel
 Stone White Exterior
 White Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 White Interior Weather Strip Package
 Multi-Point Lock
 Cambridge Handle White Keyed Exterior Primary Handle Set
 Cambridge Handle White Interior Primary Handle Set
 Keyed
 Keyed Alike - Keyed Alike Group 1

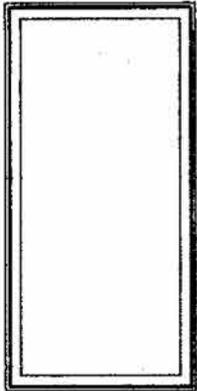
Performance Grade

Licensee #1128
 101/I.S.2/A440-08
 LC-PG40 2705X2184 mm (106.5X86 in)
 Water Resistance: 6.06 psf
 LC-PG40 DP +40/-40
 FL10956

Exterior Sliding Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 Bronze Ultrex Sill / Black Weather Strip
 4 9/16" Jamb
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit: Family Room			
Qty: 2				

MARVIN



As Viewed From The Exterior

Stone White Exterior
 Stone White Interior
 Essential Casement Picture
 CN 3060
 Rough Opening 36" X 72"
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 2" Jamb
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

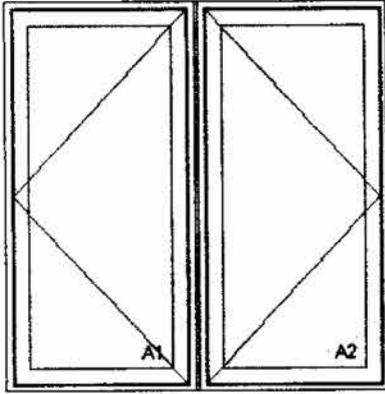
CN 3060
 FS 35 1/2" X 71 1/2"
 RO 36" X 72"
Egress Information
 No Egress Information available.
Performance Information
 U-Factor: 0.28
 Solar Heat Gain Coefficient: 0.33
 Visible Light Transmittance: 0.57
 Condensation Resistance: 58
 CPD Number: MAR-N-376-00880-00001
Performance Grade
 Licensee #1039
 AAMA/WDMA/CSA 101/I.S.2/A440-17
 LC-PG40 1207X2121 mm (47.5X83.5 in)
 Water Resistance: 6.06 psf
 LC-PG40 DP +40/-40
 FL13632

Line #5	Mark Unit: Family Room			
Qty: 1				

MARVIN

Stone White Exterior
 Stone White Interior
 2W1H - Rectangle Assembly
 Assembly Rough Opening
 48" X 48"

 Unit: A1
 Essential Casement - Left Hand
 CN 2040
 Rough Opening 24" X 48"
 IG - 1 Lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar



As Viewed From The Exterior

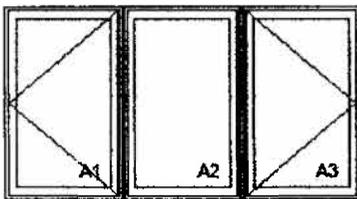
FS 47 1/2" X 47 1/2"
 RO 48" X 48"
Egress Information A1, A2
 Width: 14 43/64" Height: 42 5/16"
 Net Clear Opening: 4.31 SqFt
Performance Information A1, A2
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.29
 Visible Light Transmittance: 0.49
 Condensation Resistance: 58
 CPD Number: MAR-N-375-00424-00001
Performance Grade A1, A2
 Licensee #1034
 AAMA/WDMA/CSA 101/I.S.2/A440-17
 LC-PG40 699X1816 mm (27.4X71.5 in)
 Water Resistance: 6.06 psf
 LC-PG40 DP +40/-40
 FL13631

White Folding Handle
 Interior Aluminum Screen
 Bright View Mesh
 Stone White Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Right Hand
 CN 2040
 Rough Opening 24" X 48"
 IG - 1 Lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 White Folding Handle
 Interior Aluminum Screen
 Bright View Mesh
 Stone White Surround
 ***Screen/Combo Ship Loose
 Vertical Standard 1/2"
 2" Jamb
 Nailing Fin with 4" Structural Brackets
 ***Note: Mull Certified to AAMA 450 and rated to LC-25
 ***Note: Unit Availability and Price is Subject to Change

Line #6	Mark Unit: Bedroom(s)			
Qty: 3				

MARVIN



As Viewed From The Exterior

FS 89 1/2" X 47 1/2"
 RO 90" X 48"
Egress Information A1, A3
 Width: 20 43/64" Height: 42 5/16"
 Net Clear Opening: 6.08 SqFt
Egress Information A2
 No Egress Information available.
Performance Information A1, A2, A3
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.29
 Visible Light Transmittance: 0.49
 Condensation Resistance: 58
 CPD Number: MAR-N-375-00424-00001
Performance Grade A1, A3
 Licensee #1034
 AAMA/WDMA/CSA 101/I.S.2/A440-17
 LC-PG40 902X2121 mm (30.3X83.5 in)

Stone White Exterior
 Stone White Interior
 3W1H - Rectangle Assembly
 Assembly Rough Opening
 90" X 48"
 Unit: A1
 Essential Casement - Left Hand
 CN 2640
 Rough Opening 30" X 48"
 IG - 1 Lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 White Folding Handle
 Interior Aluminum Screen
 Bright View Mesh
 Stone White Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Stationary
 CN 2640
 Rough Opening 30" X 48"
 IG - 1 lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar

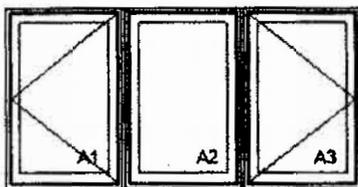
Unit: A3
 Essential Casement - Right Hand

Water Resistance: 6.06 psf
 LC-PG40 DP +40/-40
 FL13631
Performance Grade A2
 Licensee #1039
 AAMA/WDMA/CSA 101/I.S.2/A440-17
 LC-PG40 1207X2121 mm (47.5X83.5 in)
 Water Resistance: 6.06 psf
 LC-PG40 DP +40/-40
 FL13632

CN 2640
 Rough Opening 30" X 48"
 IG - 1 Lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 White Folding Handle
 Interior Aluminum Screen
 Bright View Mesh
 Stone White Surround
 ***Screen/Combo Ship Loose
 Vertical Standard 1/2"
 2" Jamb
 Nailing Fin with 4" Structural Brackets
 ***Note: Mull Certified to AAMA 450 and rated to LC-25
 ***Note: Unit Availability and Price is Subject to Change

Line #7	Mark Unit: Kitchen			
Qty: 1				

MARVIN



As Viewed From The Exterior

FS 71 1/2" X 35 1/2"
 RO 72" X 36"
Egress Information A1, A3
 Width: 14 43/64" Height: 30 5/16"
 Net Clear Opening: 3.09 SqFt
Egress Information A2
 No Egress Information available.
Performance Information A1, A2, A3
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.29
 Visible Light Transmittance: 0.49
 Condensation Resistance: 58
 CPD Number: MAR-N-375-00424-00001
Performance Grade A1, A3
 Licensee #1034
 AAMA/WDMA/CSA 101/I.S.2/A440-17
 LC-PG40 699X1816 mm (27.4X71.5 in)
 Water Resistance: 6.06 psf
 LC-PG40 DP +40/-40
 FL13631
Performance Grade A2
 Licensee #1039
 AAMA/WDMA/CSA 101/I.S.2/A440-17
 LC-PG40 1207X2121 mm (47.5X83.5 in)
 Water Resistance: 6.06 psf
 LC-PG40 DP +40/-40
 FL13632

Stone White Exterior
 Stone White Interior
 3W1H - Rectangle Assembly
 Assembly Rough Opening
 72" X 36"

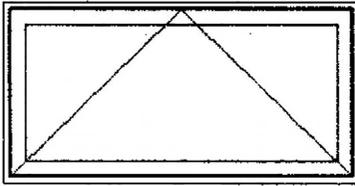
Unit: A1
 Essential Casement - Left Hand
 CN 2030
 Rough Opening 24" X 36"
 IG - 1 Lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 White Folding Handle
 Interior Aluminum Screen
 Bright View Mesh
 Stone White Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Stationary
 CN 2030
 Rough Opening 24" X 36"
 IG - 1 Lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar

Unit: A3
 Essential Casement - Right Hand
 CN 2030
 Rough Opening 24" X 36"
 IG - 1 Lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 White Folding Handle
 Interior Aluminum Screen
 Bright View Mesh
 Stone White Surround
 ***Screen/Combo Ship Loose
 Vertical Standard 1/2"
 2" Jamb
 Nailing Fin with 4" Structural Brackets
 ***Note: Mull Certified to AAMA 450 and rated to LC-25
 ***Note: Unit Availability and Price is Subject to Change

Line #8	Mark Unit: Bathroom(s)			
Qty: 2				

MARVIN



As Viewed From The Exterior

CN 4020

FS 47 1/2" X 23 1/2"

RO 48" X 24"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.29

Solar Heat Gain Coefficient: 0.29

Visible Light Transmittance: 0.49

Condensation Resistance: 57

CPD Number: MAR-N-377-00508-00001

Performance Grade

Licensee #1038

AAMA/WDMA/CSA 101/I.S.2/A440-17

LC-PG40 1207X902 mm (47.5X35.5 in)

Water Resistance: 6.06 psf

LC-PG40 DP +40/-40

FL13630

Stone White Exterior
Stone White Interior
Essential Awning - Roto Operating
CN 4020
Rough Opening 48" X 24"
1G - 1 Lite
Low E2 w/Argon
Silver Stainless Steel Perimeter Bar
White Folding Handle
Interior Aluminum Screen
Bright View Mesh
Stone White Surround
***Screen/Combo Ship Loose

2" Jamb

Nailing Fin

***Note: Unit Availability and Price is Subject to Change

LOVERINE RESIDENCE

1460 WOODLAWN CR | ELM GROVE, WI 53122

CONSTRUCTION DOCUMENT SET MARCH 4, 2026

STUDIO
EHR

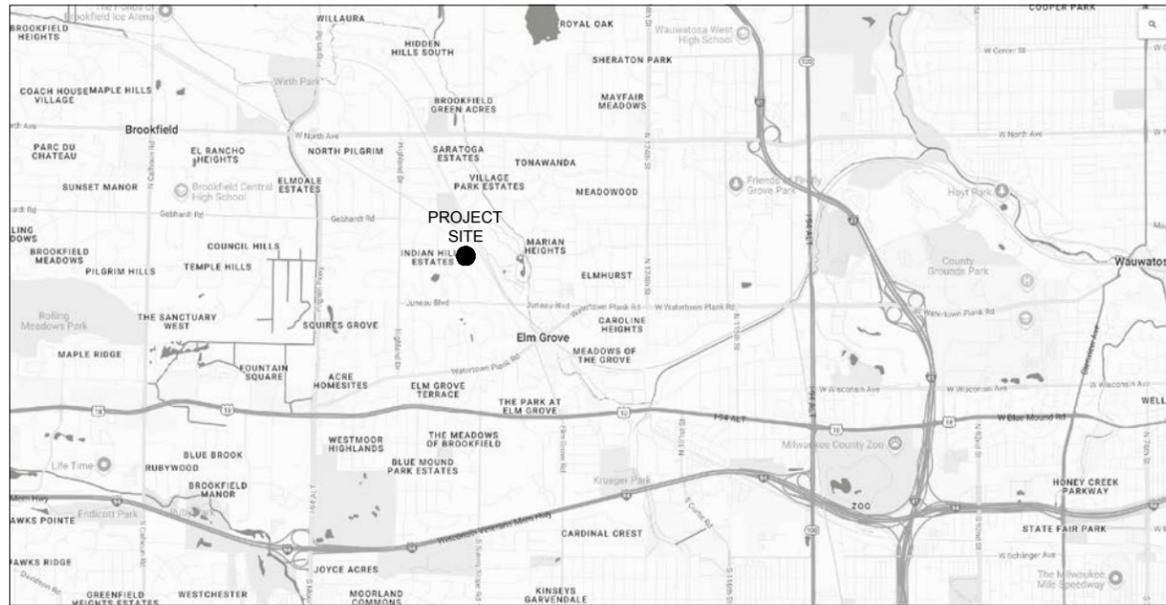
2018 S 1st Street #311
Milwaukee, WI 53207
414.405.3520
josh@studio-ehr.com

REMODEL FOR
LOVERINE

1460 Westlawn Cr.
Elm Grove, WI 53122

GENERAL CONTRACTOR
QRS GROUP

2244 W Bluemound Rd
Suite D
Waukesha, WI 53186
262.691.2895



PROJECT SITE

PROJECT INFORMATION:

ZONING: VILLAGE OF ELM GROVE
BUILDING CODE: WISCONSIN UDC
SQUARE FOOTAGE OF REMODEL: NO CHANGE TO SIZE

SHEET INDEX:

- 1 TITLE SHEET
- 2 EXISTING SOUTH ELEVATION
- 3 EXISTING EAST ELEVATION
- 4 EXISTING NORTH ELEVATION
- 5 PROPOSED PLAN
- 6 PROPOSED SOUTH ELEVATION
- 7 PROPOSED EAST ELEVATION
- 8 PROPOSED NORTH ELEVATION
- 9-16 EXISTING PHOTOS

BUILDING BOARD REVIEW

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

TITLE PAGE

PAGE 1

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REMODEL FOR
LOVERINE

1460 Westlawn Cr.
Elm Grove, WI 53122

GENERAL CONTRACTOR
QRS GROUP

2244 W Bluemound Rd
Suite D
Waukesha, WI 53186
262.691.2895



BUILDING BOARD REVIEW

1 | EXISTING SOUTH ELEVATION
1/4" = 1'

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

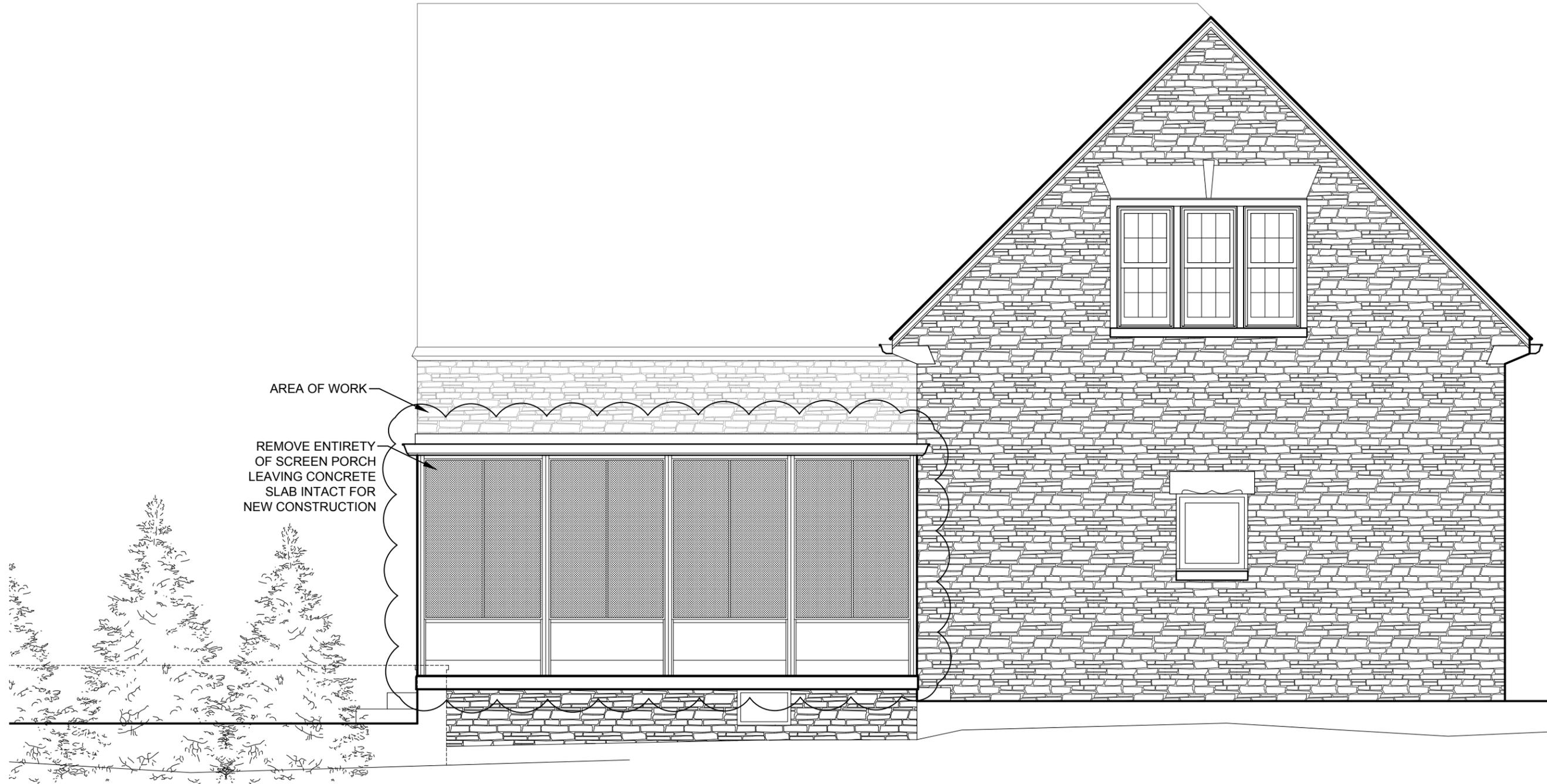
BUILDING ELEVATION

REMODEL FOR
LOVERINE

1460 Westlawn Cr.
Elm Grove, WI 53122

GENERAL CONTRACTOR
QRS GROUP

2244 W Bluemound Rd
Suite D
Waukesha, WI 53186
262.691.2895



AREA OF WORK

REMOVE ENTIRETY
OF SCREEN PORCH
LEAVING CONCRETE
SLAB INTACT FOR
NEW CONSTRUCTION

BUILDING BOARD REVIEW

1 | EXISTING EAST ELEVATION
1/4" = 1'

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

BUILDING ELEVATION

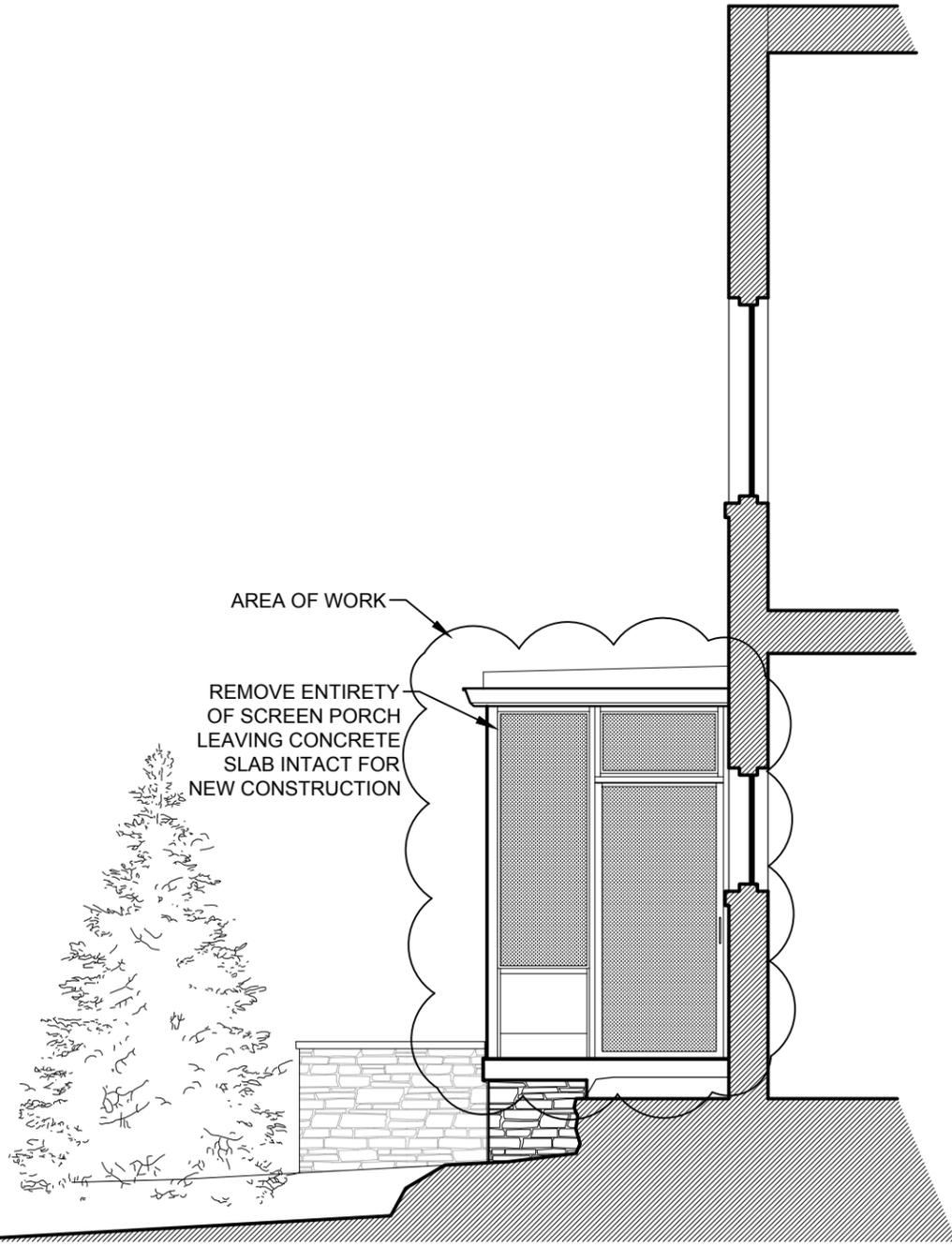
REMODEL FOR
LOVERINE

1460 Westlawn Cr.
Elm Grove, WI 53122

GENERAL CONTRACTOR
QRS GROUP

2244 W Bluemound Rd
Suite D
Waukesha, WI 53186
262.691.2895

BUILDING BOARD REVIEW



1 | EXISTING NORTH ELEVATION
1/4" = 1'

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

BUILDING ELEVATION

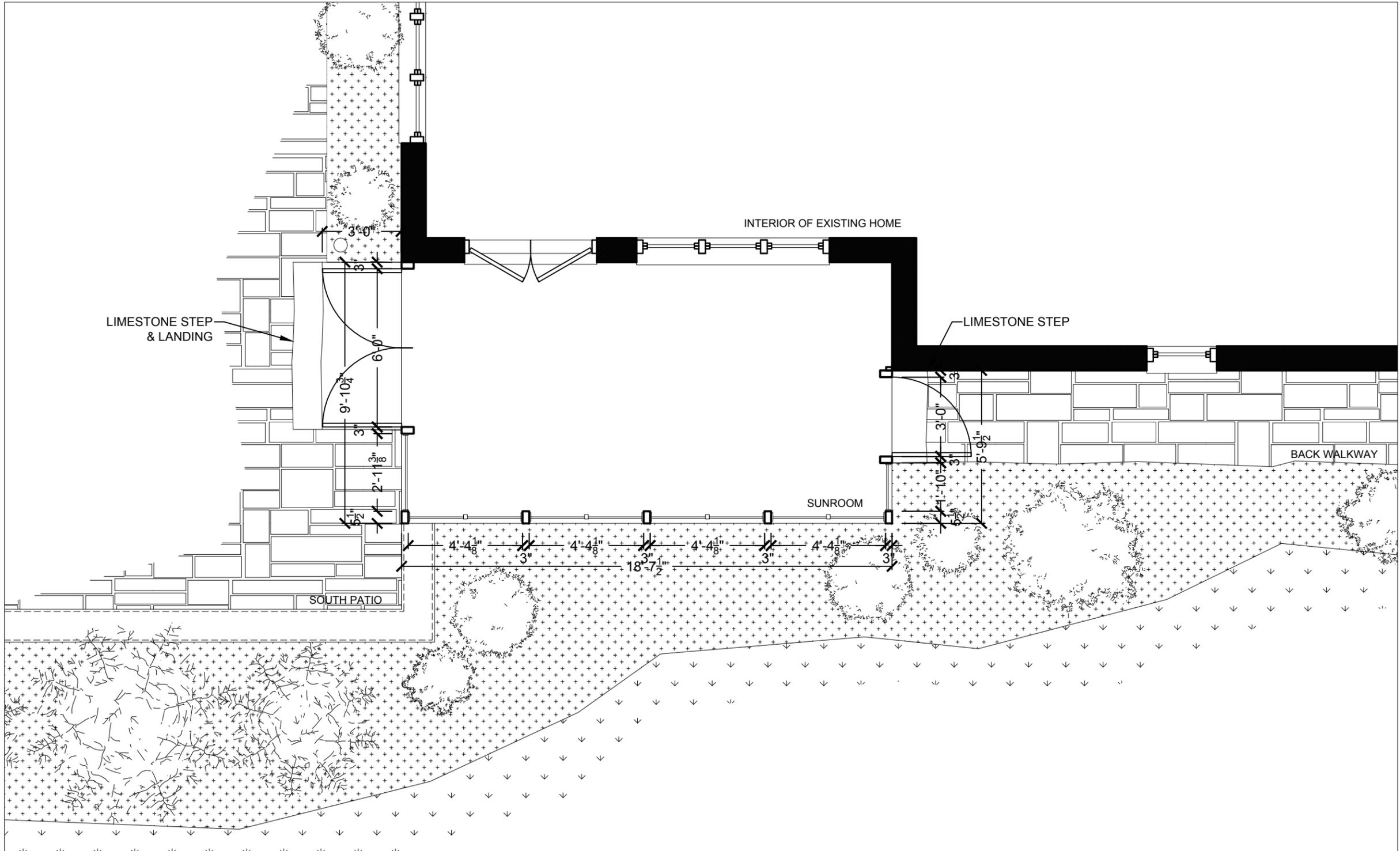
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BUILDING BOARD REVIEW



1 | PROPOSED FLOOR PLAN
1/4" = 1'

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

SCHEMATIC FLOOR
PLAN

PAGE 5

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QRS GROUP

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BUILDING BOARD REVIEW

1 | PROPOSED SOUTH ELEVATION
1/4" = 1'

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

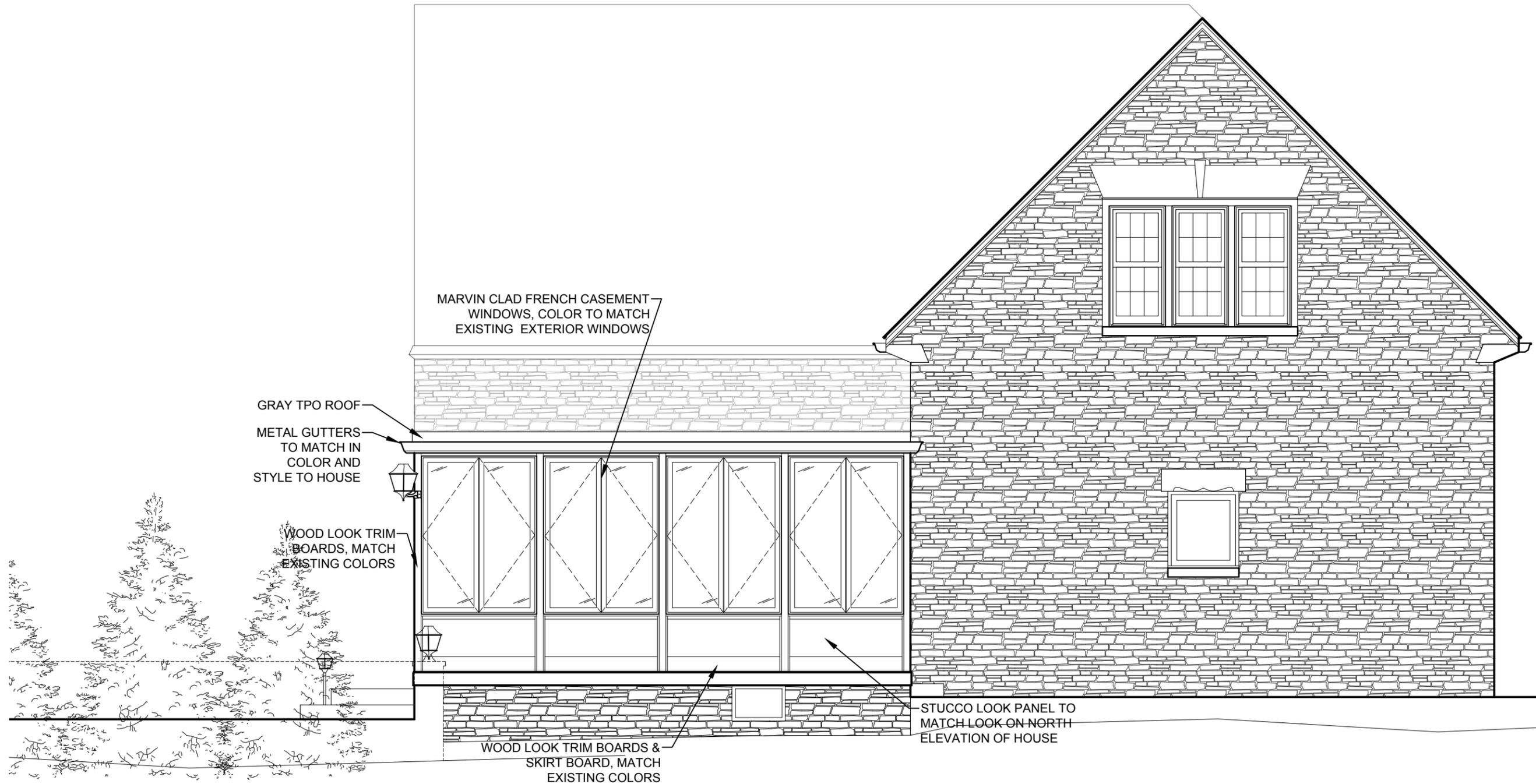
BUILDING ELEVATION

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BUILDING BOARD REVIEW

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

BUILDING ELEVATION

1 | PROPOSED EAST ELEVATION
1/4" = 1'

PAGE 7

REMODEL FOR

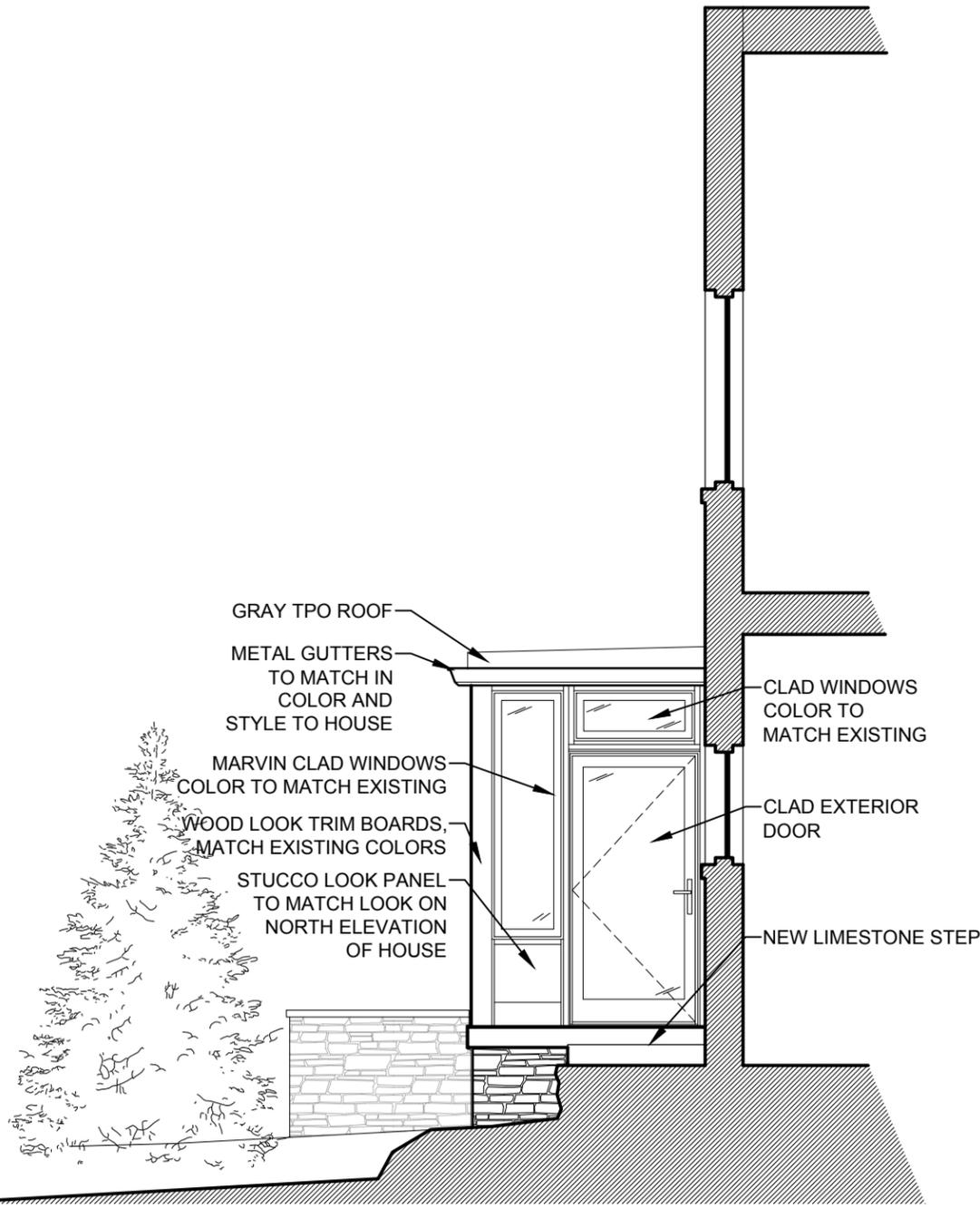
LOVERINE

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1 | PROPOSED NORTH ELEVATION
1/4" = 1'

BUILDING BOARD REVIEW

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

BUILDING ELEVATION

REMODEL FOR
LOVERINE

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Elm Grove, WI 53122

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QRS GROUP

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262.691.2895

BUILDING BOARD REVIEW



CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

EXISTING PHOTOS

1 | EXISTING PHOTO OF SOUTH WEST CORNER
1/4" = 1'

STUDIO
EHR

2018 S 1st Street #311
Milwaukee, WI 53207
414.405.3520
josh@studio-ehr.com

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GENERAL CONTRACTOR

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EXISTING PHOTOS

PAGE 10

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1 | EXISTING PHOTO OF NORTH ELEVATION
1/4" = 1'



STUDIO
EHR

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josh@studio-ehr.com

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LOVERINE

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BUILDING BOARD REVIEW

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

EXISTING PHOTOS

PAGE 11

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1 | EXISTING PHOTO OF NORTH ELEVATION WITH PORCH
1/4" = 1'

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LOVERINE

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BUILDING BOARD REVIEW



CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

EXISTING PHOTOS

1 | EXISTING PHOTO OF EAST ELEVATION
1/4" = 1'

REMODEL FOR
LOVERINE

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BUILDING BOARD REVIEW



CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

EXISTING PHOTOS

1 | EXISTING PHOTO OF PORCH
1/4" = 1'

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EHR

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REMODEL FOR
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CONSTRUCTION
DOCUMENTS

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EXISTING PHOTOS

PAGE 14

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1 | EXISTING PHOTO OF SOUTH ELEVATION
1/4" = 1'

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BUILDING BOARD REVIEW



CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

EXISTING PHOTOS

1 | EXISTING PHOTO OF INTERIOR OF PORCH LOOKING OUT
1/4" = 1'

REMODEL FOR
LOVERINE

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Elm Grove, WI 53122

GENERAL CONTRACTOR
QRS GROUP

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Suite D
Waukesha, WI 53186
262.691.2895

BUILDING BOARD REVIEW



1 | EXISTING PHOTO OF INTERIOR OF PORCH LOOKING AT HOUSE
1/4" = 1'

CONSTRUCTION
DOCUMENTS

MARCH 4, 2026

EXISTING PHOTOS

BLIFFERT LBR & FUEL - WAUKESHA

Address: 548 W SUNSET DR

WAUKESHA, WI 53189

Phone: (262) 542-6666

Website: www.bliffertlumber.com



Quote

Page 1 of 1

Quote Number: 223

Date: 12/15/2025

Sales Person: Chris Elliott

Customer Information

Name: QRS-LOVERINE
Address:

Phone 1:
Phone 2:
Fax:
Contact:

Job Name:

Specifications

U.D. = 35-9/16" x 81-5/8"; R.O. = 36-5/16" x 82"
 O.M. of Exterior Trim = 38-1/16" x 82-7/8"

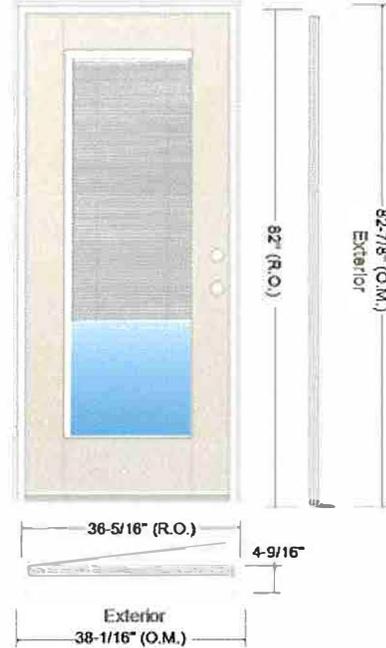


Image is viewed from Exterior!

Lead Time: Non-Stock

Item Description	Qty
2' 10" x 6' 8" S2600 Smooth-Star - Flush Glazed Fiberglass Door - Internal Blind - Left Hand Inswing	1
2-3/8" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Deadbolt Deadbolt 1 (Schlage) 1-1/8" x 2-3/4" x 3/16" depth Strike Prep	1
Set of Ball Bearing - Brushed Nickel Hinges	1
Primed DuraFrame Wood Frame - 4-9/16" Jamb w/Primed DuraFrame Brickmould Exterior Trim (Applied) w/(1)Brushed Nickel Adjustable Security Strike Plate (for Lockset only)	1
Compression Weatherstrip	1
Composite Adjustable - Mill Finish Sill	1
PREFINISH: Paint - Custom Color Door Panel Interior & Exterior CUSTOM PAINT COLOR ; Paint - Custom Color Interior of Frame/Rabbet only CUSTOM PAINT COLOR	1

Distributed by:



Version #: 3.67.0-0

Version Date: 1/19/2026

QRS LOVERINE- ESSENTIAL

Quote #: M6TDKME

A Proposal for Window and Door Products prepared for:

Shipping Address:

BLIFFERT LUMBER & HARDWARE-WAUKESHA
548 W SUNSET DR
WAUKESHA, WI 53189-7007

CHRIS ELLIOTT
BLIFFERT LUMBER &
HARDWARE-WAUKESHA
548 W SUNSET DR
WAUKESHA, WI 53189-7007
Phone: (262) 542-6666

Email: chris.elliott@bliffertlumber.com

This report was generated on 3/9/2026 6:53:49 AM
using the Marvin Order Management System,
version 0004.19.01 (Old). Price in USD. Unit
availability and price are subject to change. Dealer
terms and conditions may apply.

Featuring products from:

MARVIN 

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #2	Mark Unit:			
Qty: 2				

MARVIN



As Viewed From The Exterior

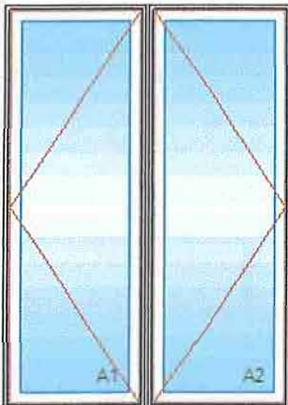
Entered As: FS
MO 22 1/2" X 72 1/4"
FS 22" X 72"
RO 22 1/2" X 72 1/2"
Egress Information
 No Egress Information available.

Stone White Exterior
 Stone White Interior
 Window Frame
 Essential Direct Glaze Rectangle
 Frame Size 22" X 72"
 Rough Opening 22 1/2" X 72 1/2"
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 Additional Mull Info: Stand Alone
 2" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

OLD

Line #3	Mark Unit:			
Qty: 4				

MARVIN

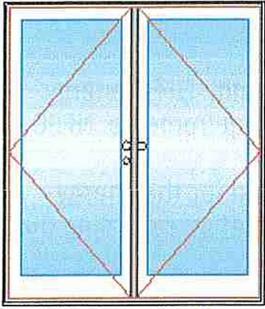


As Viewed From The Exterior

Entered As: FS
MO 52 1/2" X 72 1/4"
FS 52" X 72"
RO 52 1/2" X 72 1/2"
Egress Information A1, A2
 Width: 16 59/64" Height: 66 13/16"
 Net Clear Opening: 7.85 SqFt

Stone White Exterior
 Stone White Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size
 52" X 72"
 Assembly Rough Opening
 52 1/2" X 72 1/2"
 Unit: A1
 Essential Casement - Left Hand
 Basic Frame 25 3/4" X 72"
 Rough Opening 26 1/4" X 72 1/2"
 IG - 1 Lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar
 White Folding Handle
 Interior Aluminum Screen
 Bright View Mesh
 Stone White Surround

Unit: A2
 Essential Casement - Right Hand
 Basic Frame 25 3/4" X 72"
 Rough Opening 26 1/4" X 72 1/2"
 IG - 1 Lite
 Low E2 w/Argon
 Silver Stainless Steel Perimeter Bar



Entered As: CN
MO 71 1/2" X 79 3/4"
CN 6065
FS 71" X 79 1/2"
RO 72" X 80"

Egress Information
Width: 64 13/32" Height: 75 3/4"
Net Clear Opening: 33.88 SqFt

Right Panel
Stone White Exterior
White Interior
IG - 1 Lite
Tempered Low E2 w/Argon
Silver Stainless Steel Perimeter Bar
Multi-Point Lock
Cambridge Handle White Keyed Exterior Primary Handle Set
Cambridge Handle White Interior Primary Handle Set
Cambridge Handle White Exterior Secondary Handle Set
Cambridge Handle White Interior Secondary Handle Set
Keyed
White Adjustable Hinges
No Screen
Beige Ultrex Sill / Beige Weather Strip
4 9/16" Jamb
Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

OLD

Home / Recessed Lighting / LED Anti-Glare Downlights / 4 in. Slim Round Recessed Anti-Glare LED Downlight, White Trim, Canless IC Rated, 1200 Lumens, 5 CCT 2700K-5000K



4 in. Slim Round Recessed Anti-Glare LED Downlight, White Trim, Canless IC Rated, 1200 Lumens, 5 CCT 2700K-5000K

MODEL: MRL-S41503 BRAND: MAXXIMA

★★★★★ 28 Reviews | 15 Questions | 14 Answers

\$29.99

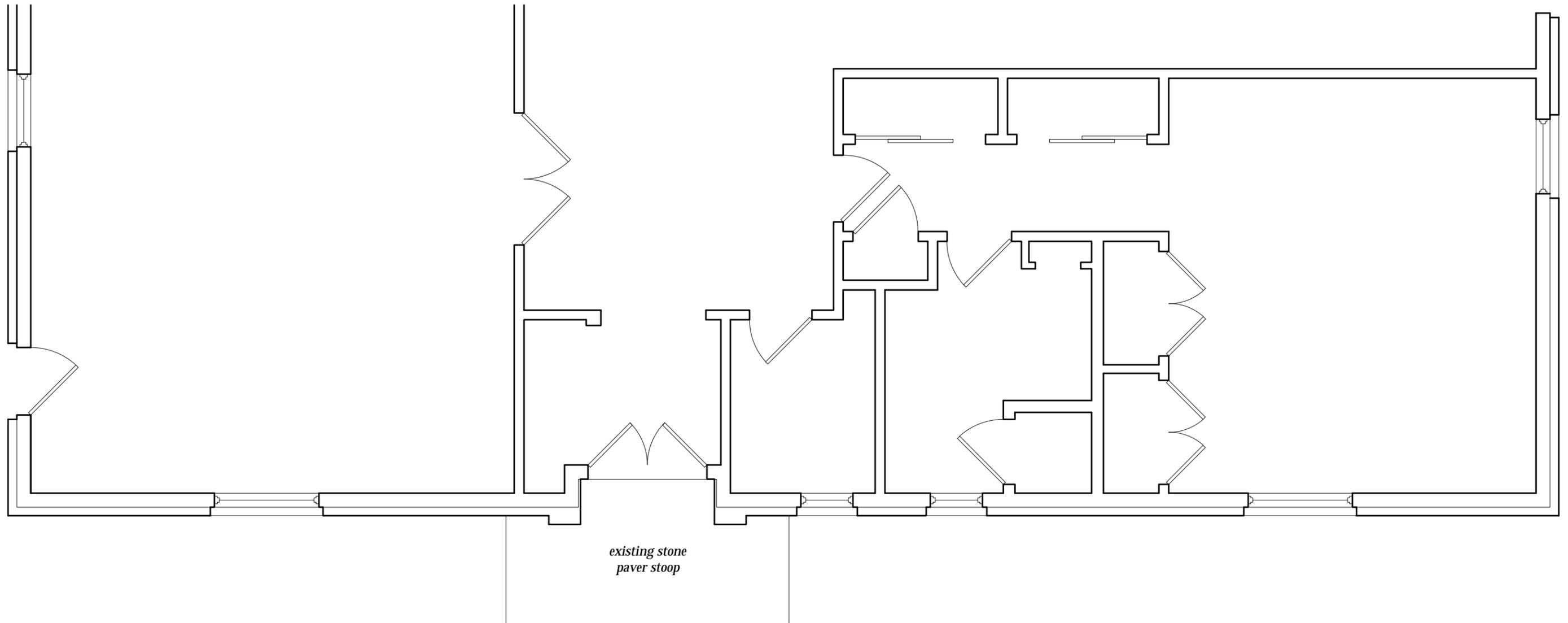
- Black \$29.99
- Bronze \$29.99
- Stone Gray \$29.99
- White \$29.99
- White/Black \$29.99

Qty: **IN STOCK** ✓
More than 1,000 available

ADD TO CART

Buy 20 or more – \$28.99 ea.
Price change will display in cart.

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



EXISTING PORCH PLAN

1/4" = 1'-0"



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PORT WASHINGTON
WISCONSIN 53074
(262) 416-8307
jeremyhartline@gmail.com
www.jeremyhartline.com

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Zaiser Portico
1550 Sunset Drive
Elm Grove, WI 53122

DRAWN BY	J. HARTLINE
DATE	6-18-2025
SHEET	1 of 5

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



EXISTING FRONT ELEVATION

1/4" = 1'-0"



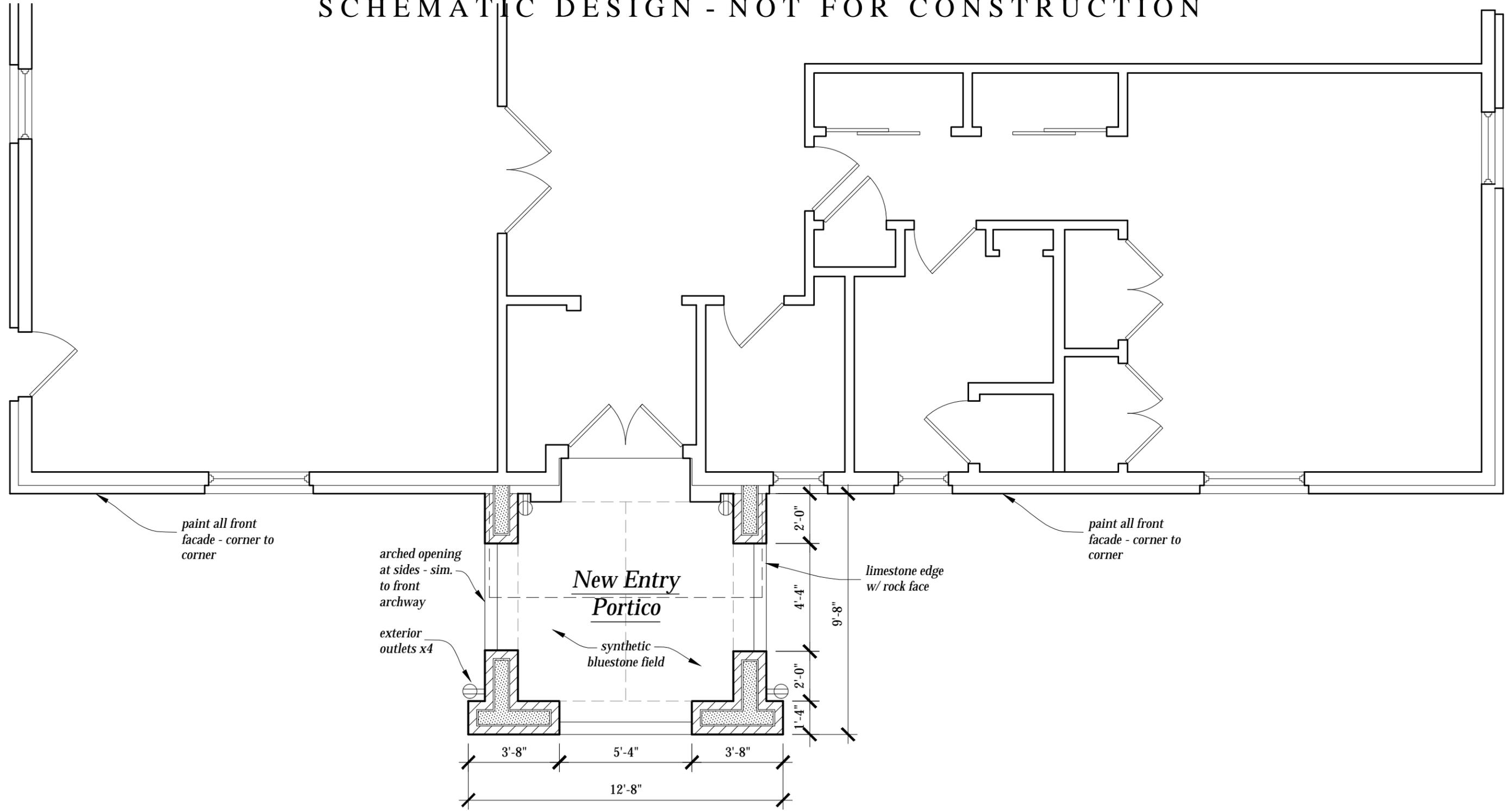
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DATE	6-18-2025
SHEET	2 of 5

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



PROPOSED PORCH PLAN

1/4" = 1'-0"



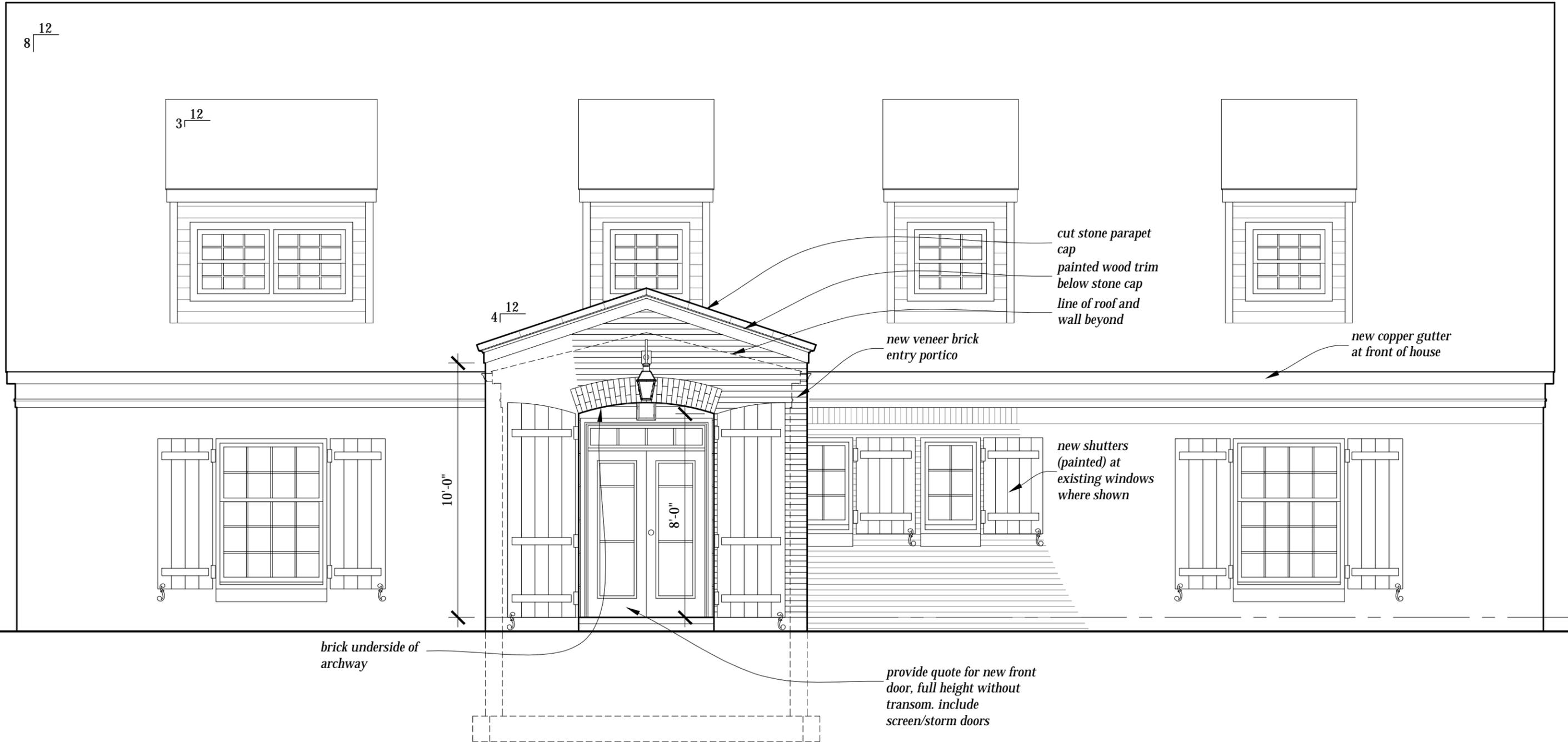
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SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



PROPOSED FRONT ELEVATION

1/4" = 1'-0"



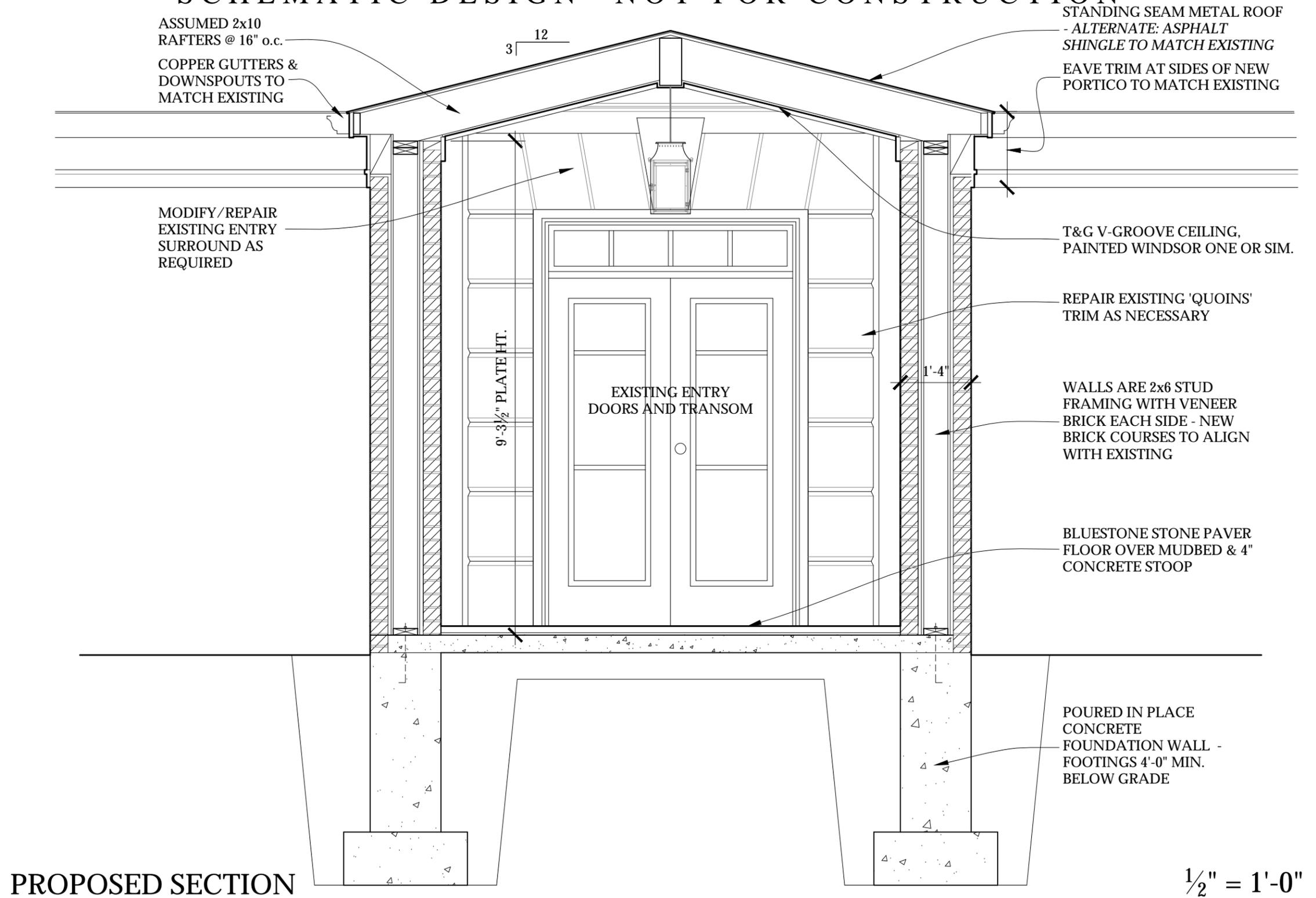
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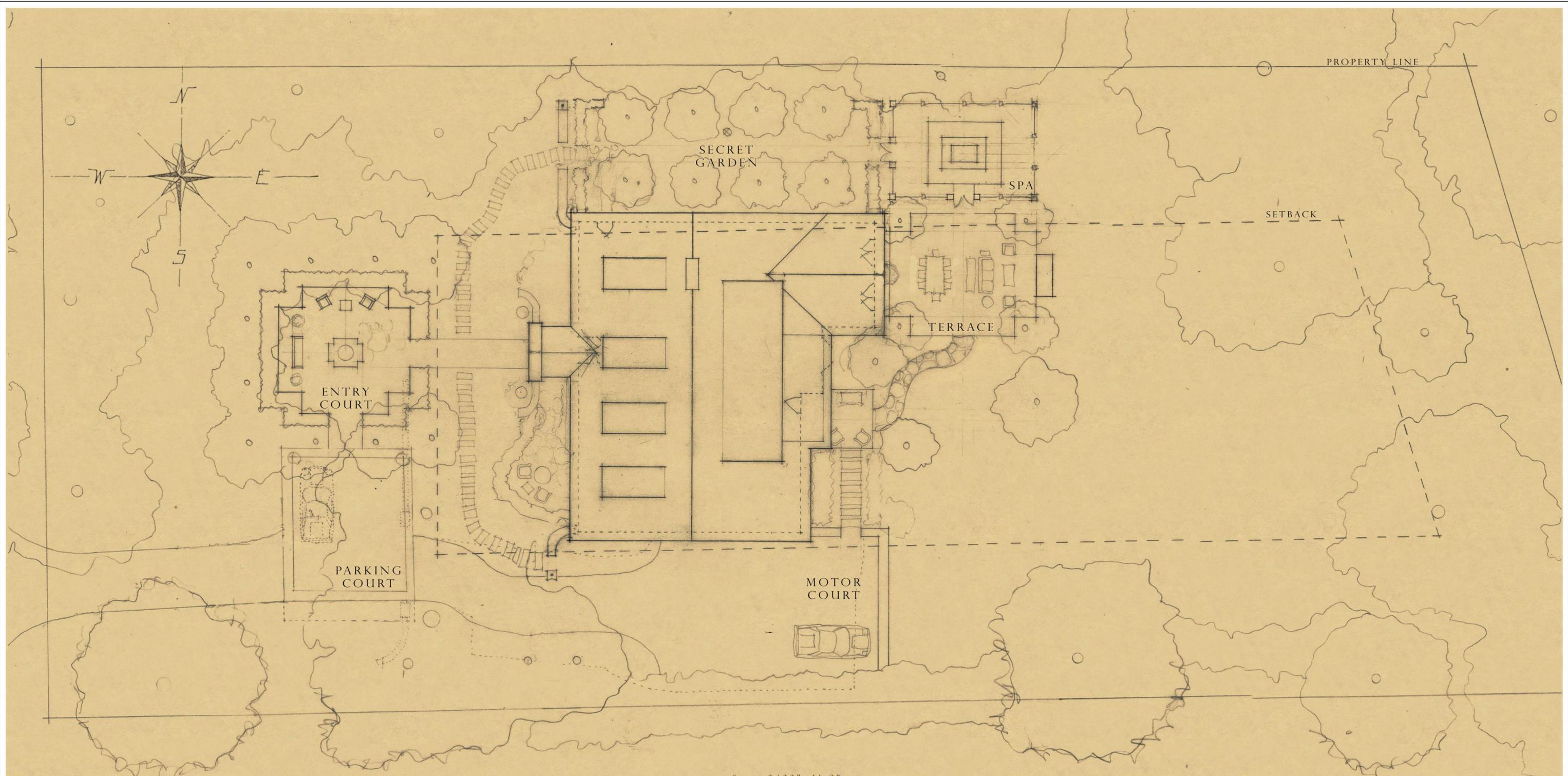


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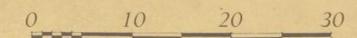
SCALE: 3/32"=1'-0"

ELM GROVE RENOVATION
SITE PLAN

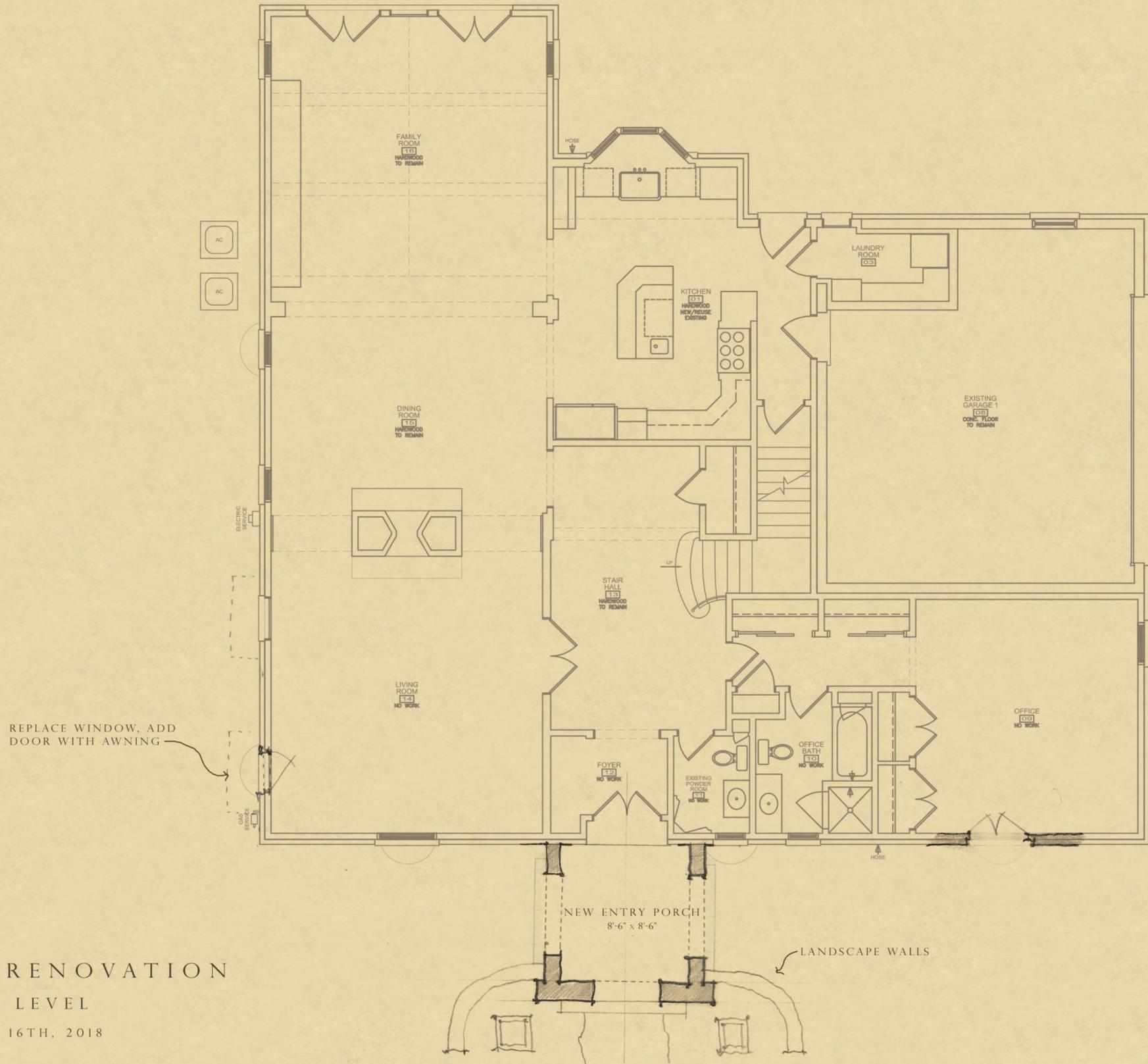
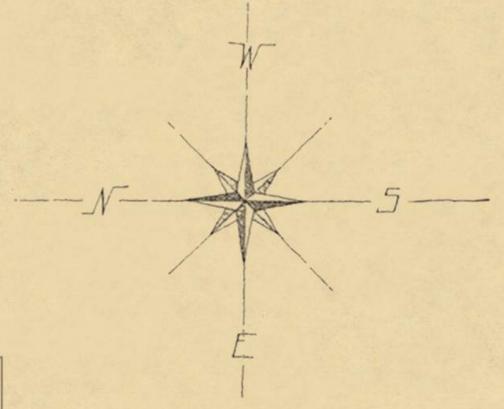
NOVEMBER 16TH, 2018



WADE WEISSMANN
ARCHITECTURE



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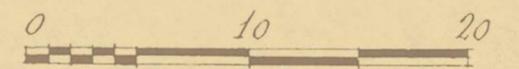


ELM GROVE RENOVATION
MAIN LEVEL
NOVEMBER 16TH, 2018

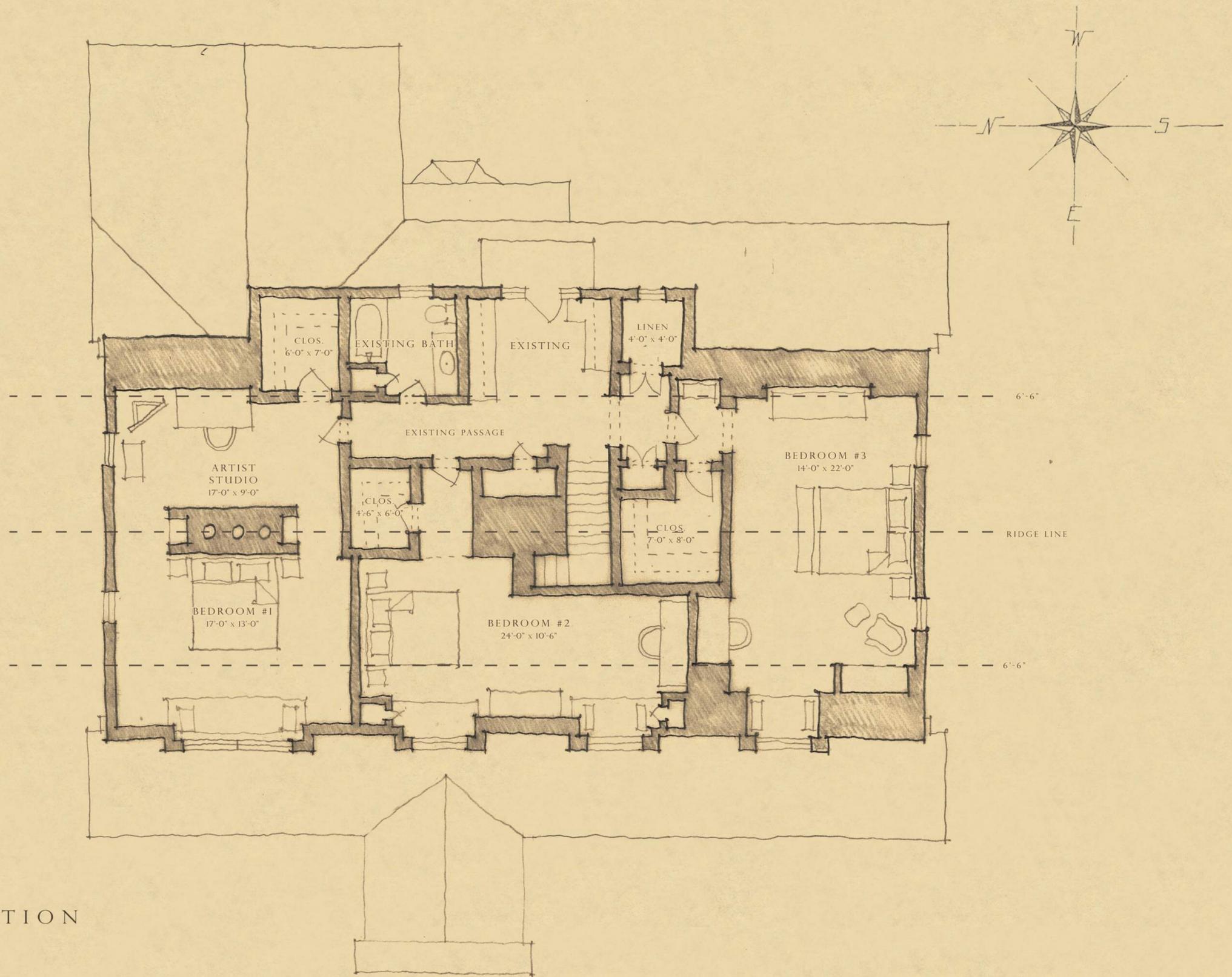
NOTE: DIMENSIONS ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED ON ENGINEERING REQUIREMENTS AND FIELD MEASUREMENTS.



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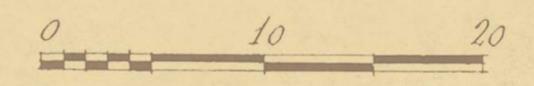


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ELM GROVE RENOVATION
 UPPER LEVEL
 NOVEMBER 16TH, 2018

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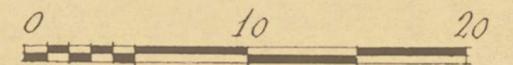


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SCALE: 3/16"=1'-0"

ELM GROVE RENOVATION
WEST ELEVATION



NOVEMBER 16TH., 2018



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Gerotean facade



Stavin 11/16/18

SCALE: 3/16" = 1'-0"

ELM GROVE RENOVATION
WEST ELEVATION



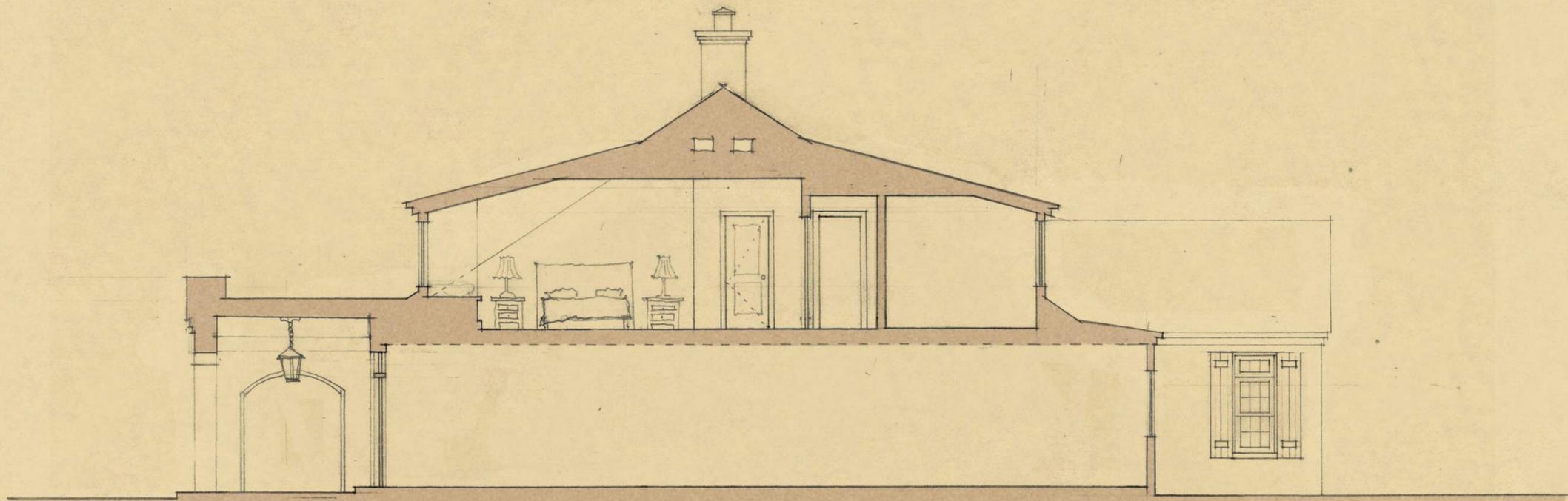
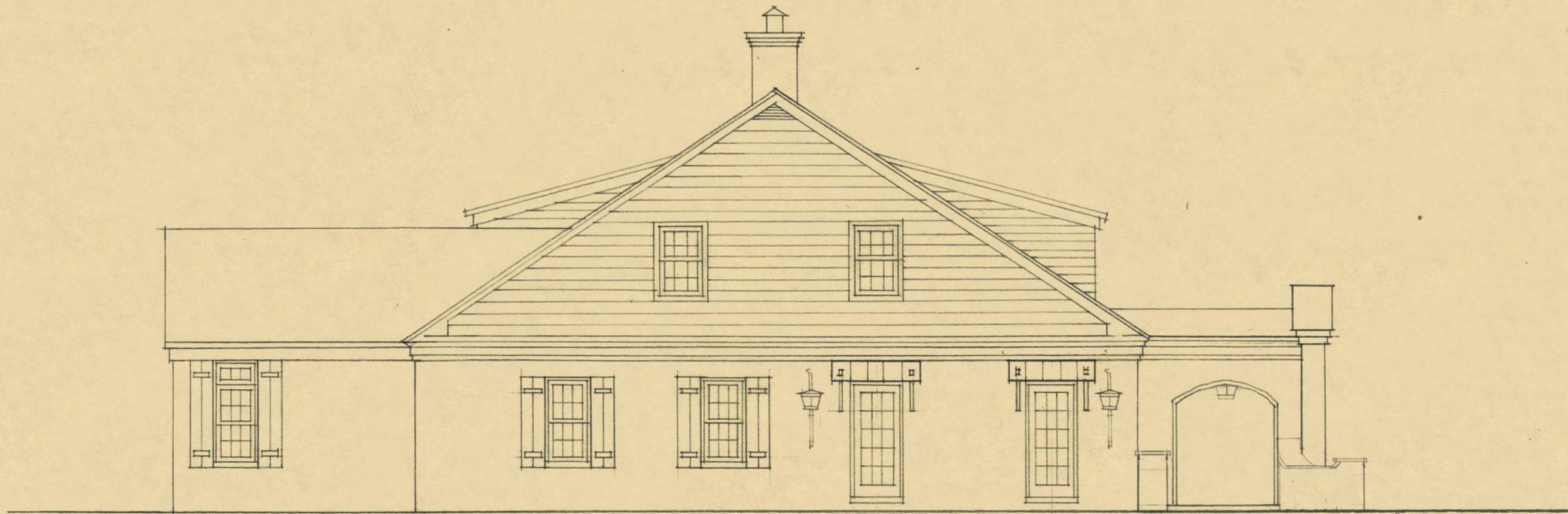
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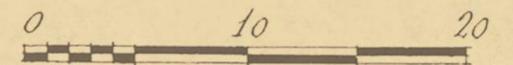
SCALE: 3/16" = 1'-0"

ELM GROVE RENOVATION
NORTH ELEVATION AND SECTION

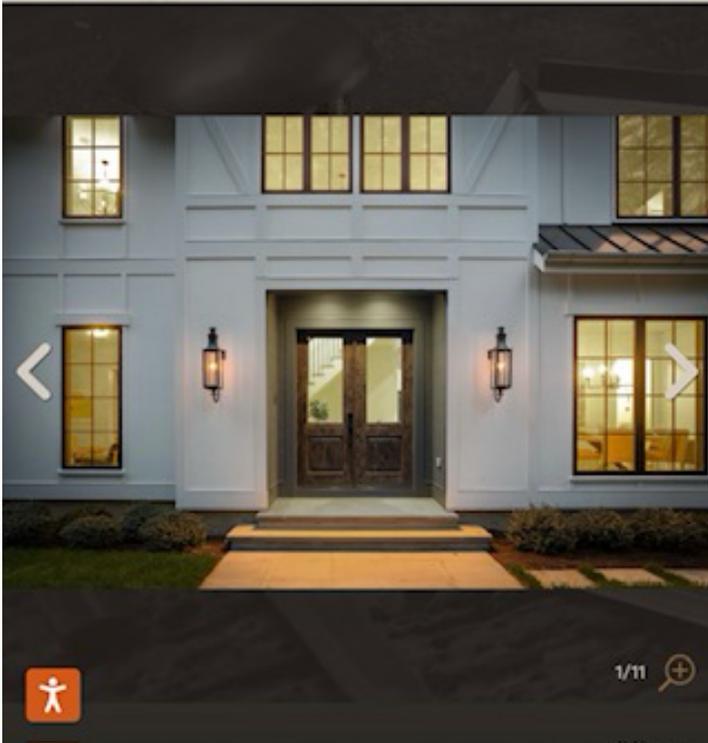
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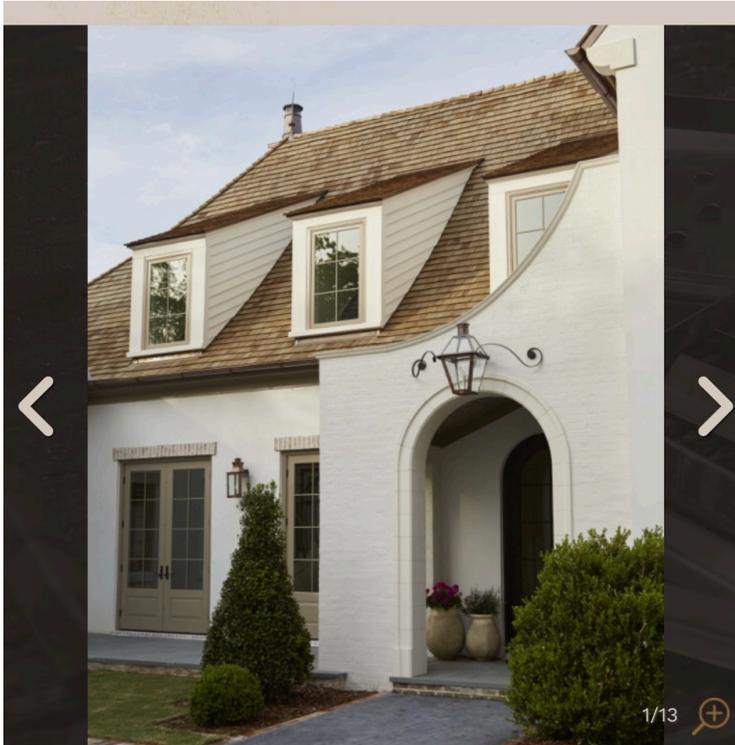
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PLAT OF SURVEY

LOCATION: 1550 Sunset Drive, Elm Grove, Wisconsin

LEGAL DESCRIPTION: Lot 5 in Block 2 in INDIAN HILLS ESTATES, being a Subdivision of a part of the Northeast 1/4 and Southeast 1/4 of Section 23, Town 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin.

September 14, 2015
October 16, 2015 Proposed Site Plan Added

Survey No. 106019

Area Calculations

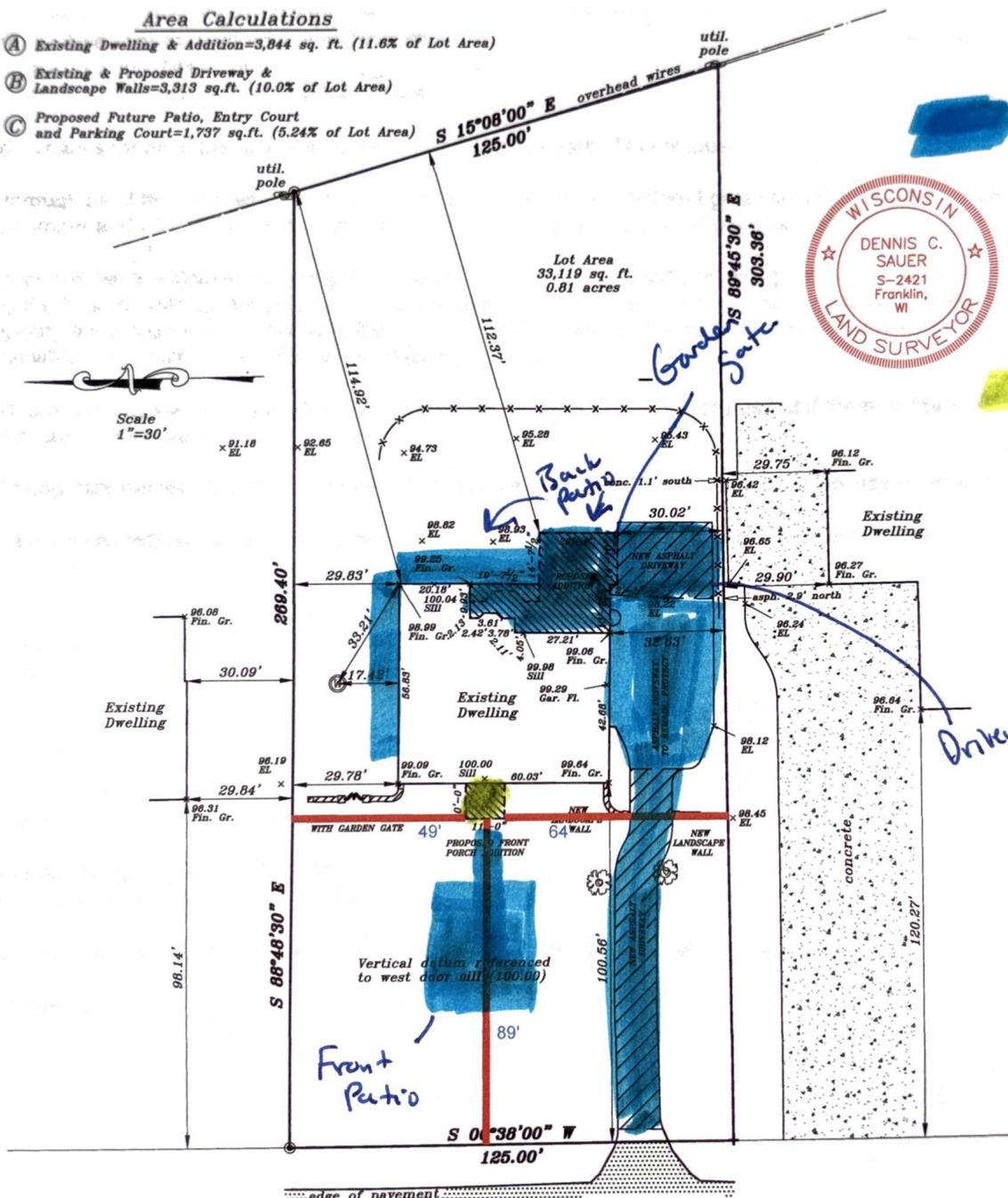
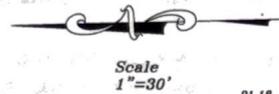
- (A) Existing Dwelling & Addition=3,844 sq. ft. (11.6% of Lot Area)
- (B) Existing & Proposed Driveway & Landscape Walls=3,313 sq.ft. (10.0% of Lot Area)
- (C) Proposed Future Patio, Entry Court and Parking Court=1,737 sq.ft. (5.24% of Lot Area)

Lot Area
33,119 sq. ft.
0.81 acres



Previous work

New Project
Patio



Sunset Drive

(50' R.O.W.)

METROPOLITAN SURVEY SERVICE, INC.
PROFESSIONAL LAND SURVEYORS AND CIVIL ENGINEERS
9415 West Forest Home Avenue, Suite 202
Hales Corners, Wisconsin 53130
PH. (414) 529-5380 FAX (414) 529-9787
email address: survey@metropolitansurvey.com

- ⊙ — Denotes Iron Pipe Found
- — Denotes Iron Pipe Set
- + — Denotes Cross Set

— x — x — x — Denotes Proposed Silt Screen

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED
Dennis C. Sauer
Professional Land Surveyor S-2421