

August 11, 2021

Mr. Thomas Harrigan
Zoning and Planning Administrator
Village of Elm Grove
13600 Juneau Boulevard
Elm Grove, WI 53122

Re: School Sisters of Notre Dame Redevelopment Final Submittal

Dear Tom:

I am pleased to submit the final package of materials to the Village of Elm Grove for the following requests related to the School Sisters of Notre Dame's property at 13105 Watertown Plank Road, (the "Property"):

- I. Approval of a Certified Survey Map to divide the Property into four lots.
- II. Amendment of the Comprehensive Plan
- III. Rezoning a portion of the Property from I-1 to RM-1, RS-3, and RS-4 with a Planned Development Overlay;
- IV. Approval of Redevelopment Plans

Thank you for this opportunity to submit this request. Please contact me if you have any questions or need any additional information.

Sincerely,

MANDEL GROUP PROPERTIES LLC



Phillip Aiello

Chief Operating Officer

School Sisters of Notre Dame Redevelopment Submission

August 11, 2021

Materials for Requests of:

Certified Survey Map Approval

Comprehensive Plan Amendment Approval

Rezoning a portion of the Property from I-1 to RM-1, RS-3, and RS-4 with a Planned
Development Overlay;

Redevelopment Plans Approval

Submitted by: Mandel Group Properties LLC

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Introduction

Context

On December 21, 2020, Mandel Group Properties LLC (“Mandel”) submitted materials for the redevelopment of the School Sisters of Notre Dame property located at 13105 Watertown Plank Road (the “Property”) to a development comprised of multifamily apartments and single-family homes. The design of the Property has evolved through a series of meetings with the Building Board, Public Works Committee, Plan Commission, and Village Board based on information regarding the aesthetics, density, traffic, school district impact, emergency responders impact, and other topics.

This submittal serves to memorialize the plans for review by the Plan Commission and Village Board and to respond to the decision criteria in Village Ordinance § 335-30H.

Property Division and Zoning

Mandel submits this request to divide the property into four lots as depicted on the Certified Survey Map on Exhibit A. Mandel also requests the rezoning of the lots as indicated in the table below.

Parcel	Zoning Request
Lot 1	RS-3 with a Planned Development Overlay
Lot 2	RM-1 with a Planned Development Overlay
Lot 3	Remain as I-1
Lot 4	RS-4 with a Planned Development Overlay

The attached Preliminary Certified Survey Map in Exhibit A and the Preliminary Single-Family Plats in Exhibit B depict the intended lot division of the School Sisters property and the subdivision of the Red Barn and Green Meadow Plats. The statistics for the single-family lots also are included in Exhibit B.

This zoning request will require an amendment to the Comprehensive Plan.

Redevelopment Program

The redevelopment of the Property will include multifamily apartments, single-family homes, and a cemetery (the “Development”). Please see the site plan attached as Exhibit C. The program for the redevelopment is indicated in the table below.

Parcel	Program
Lot 1	Ten (10) single-family homes
Lot 2	Maximum of 240 apartments with a maximum of 205 apartments in three, new-construction, three-story buildings and a maximum of 35 apartments in the historic buildings known as Notre Dame Hall and Maria Hall. Parking for the new-construction buildings and historic buildings will include 386 in an underground structure located beneath and outside the footprint of the new construction buildings.
Lot 3	Existing cemetery land with the School Sisters of Notre Dame retaining ownership
Lot 4	Eleven (11) single-family homes

Final Plans

The final plans for review and consideration by the Plan Commission and Village Board are included as Exhibits as indicated in the following table.

Exhibit D	Architectural Plans and Materials
Exhibit E	Architectural Renderings
Exhibit F	Building Board Punch List Responses
Exhibit G	Landscaping Plans
Exhibit H	Civil Engineering Plans

The Building Board recommended approval to the Plan Commission the architectural site plan, architectural renderings, and landscaping plans on July 22, 2021 subject to the Plan Commission’s review and approval of a “punchlist”. The Public Works/Utilities Committee recommended approval to the Plan Commission the civil engineering plans on June 21, 2021.

Please note that the final plan submittal is provided on 8.5” x 11” sheets. The submittal is intended to provide a single-location record of what was approved by the Building Board and Public Works/Utilities Committee. This information was provided previously in larger format. For detail, please refer to the submittals to the Building Board and Public Works/Utilities Committee or refer to the electronic version of this submittal. The Building Board punch list responses are the exception to this statement. While these responses were provided on 8.5” x 11” sheets, these responses were not submitted previously and are provided here for the Plan Commission’s review.

Plan Commission Considerations

Pursuant to Village Ordinance § 335-30H, the Plan Commission's determination of approval is based on a set of criteria. The information below responds to each of these criteria.

(1) The Village Plan Commission, in making its preliminary and final recommendation on the petition, and the Village Board, in making its determination, shall consider whether each of the following criteria are satisfied:

(a) Whether the petitioner(s) for the proposed Planned Development Overlay District has demonstrated:

[1] An intent and ability to begin the physical development of the PDO District within 18 months following the approval of the petition; and

The petitioner is prepared to move forward with the construction of the multifamily development within 18 months of approval of the petition. It is the petitioner's intent to start construction within 12 months or less of approval. Mandel Group has a long history of starting and completing developments well within this timeframe. We have been working on this development since submitting to the School Sisters at the end of 2017 and are prepared to move quickly through the pre-construction process.

[2] That the necessary financial resources to carry out the project in strict conformity with the development agreement have been obtained and committed.

The petitioner has nearly 30 years of experience developing and financing multifamily housing, securing over \$1.0 billion of debt and equity during this period. We have provided two financial references for your review which have been included as Exhibit I. Lenders and equity providers typically provide commitments after the zoning has been secured and the drawings have been advanced to construction-level drawings.

(b) Whether the proposed Planned Development Overlay District is consistent in all respects with:

[1] The purpose of this section and the spirit and intent of this chapter; and
Pursuant to § 335-30A, "The Planned Development Overlay District ("PDO District") is intended to permit development, redevelopment and rehabilitation of property through use of coordinated site planning,

diversification of location of structure location and/or types and/or through mixing of compatible allowed uses. The PDO District is intended to achieve high standards of planning and construction and allow for design flexibility while, at the same time, maintaining use requirements set forth in the underlying zoning district.”

The School Sisters property is the largest privately-owned property in the Village of Elm Grove. As such, the site plan reflects appropriate planning with a single-family home buffer to the east, appropriately sized apartment buildings along Watertown Plank Road, and a traditional cul de sac on the south portion of the campus. The design flexibility afforded this development is primarily with the single-family homes. These homes adhere to the underlying zoning requirements but for requests related to setbacks and lot sizes. Through feedback during the PDO process, the single-family lot on the east side of campus was changed from 34 side-by-side duplex apartments to ten single-family homes. The single-family lot on the south side of campus was changed from 100 senior-living apartments to 11 single-family homes. The deviations from the underlying zoning of Rs-3 and Rs-4 reflect the changes in taste of single-family homeowners today.

Through the rigorous plan review process with the Building Board, Public Works/Utilities Committee, and Plan Commission, the final plan and material selections achieved the high standards intended in this section.

[2] The adopted Master Plan or any adopted component thereof.

The Development adheres to the goal of the Downtown Master Plan by contributing outside investment that draws residents and visitors to the downtown area.

Specifically, Mandel has designed The Development to leverage the walkability of Downtown Elm Grove by connecting pedestrian paths throughout and off the property to the commercial corridor while mitigating parking and traffic stress impacts through the construction of underground parking for the project’s future residents. The inclusion of an extensive courtyard on the site interior creates additional green space to create a welcoming atmosphere for residents.

The Village identified the School Sisters property as “another vibrant opportunity to find housing, multi-use, and economically valuable transitions to the area.” Our high-quality multifamily development is in line with this goal. Additionally, the project preserves the “strong sense of community” Elm Grove prides itself on by increasing downtown housing priced and built for local empty-nesters looking to downsize and remain connected to the village. The Village recognizes the cultural value of Maria Hall, Notre Dame Hall, and the St. Mary Parish’s Cemetery, which we have preserved through this proposed development.

Addressing needs from current Elm Grove stakeholders cited in the Downtown Master plan has been a defining priority in the creation of the Development. The allocation of land for single-family housing addresses the desire for a buffer between the multifamily aspects and existing homeowners in the neighborhood that was expressed in the Downtown Master Plan creation process to respect the surrounding neighborhoods. The tax value that Mandel can create upon a currently non-revenue generating parcel will immensely aid the efforts to bring quality municipal water infrastructure to downtown Elm Grove.

Of the preferred uses the Village has identified for the Downtown Area, multifamily generates the most reward for the Village when considering the rising cost of redevelopment, increasing desire to live downtown, and rapidly growing apartment demand among older age brackets. The Village’s conclusion on concentrating housing uses on the School Sisters property will create a foundation for expected commercial growth.

The Downtown Master Plan identified obtaining municipal water as key to redeveloping the downtown area. The proposed Development provides the Village with an opportunity to utilize new real estate tax revenue from the Development to pay for the backbone of a water system connected to the City of Wauwatosa’s system.

(2) The Village Plan Commission, in making its preliminary and final recommendations, and the Village Board, in making its decision on any proposed PDO District, shall consider the following criteria:

- (a) The development will not be contrary to the general welfare and economic prosperity of the community.

The Development will enhance the Village of Elm Grove by creating housing options within the Village for residents that want to stay in their community without the difficulties of home ownership. In addition, the single-family homes will fill the demand for single family homes within the Village. Together, the apartment and single-family home residents comprise a walkable community within the downtown area.

The addition of the water main along Watertown Plank Road will allow for the growth of businesses currently constrained by the well water in the area. The growth of the businesses and the growth of their customer base can provide a springboard for the revitalization of downtown Elm Grove.

The apartments will allow single-family homeowners to sell their homes, clearing way for the next generation of homeowners in the Village.

The Comprehensive Plan encourages "...the creation of upscale, high-quality, multifamily residential uses as a component of a mixed-use concept that increases the quantity and variety of living options available to Elm Grove residents who desire to live within easy walking distance of amenities offered in the Downtown Business District." This objective was identified to overcome the barrier that the lack of density throughout the Village poses to the economic viability of the commercial district.

Our development increases the number of residents in the Village and places affluent residents near the Downtown Business District, creating a synergy between the retailers and their patrons.

The Comprehensive Plan also highlighted that a portion of the buildings in the Downtown Business District need renovation. The reinvestment in these commercial real estate assets requires a strong consumer base. The inclusion of the multifamily apartments creates a deeper customer base within walking distance of the District upon which the retailers can draw, thereby creating a positive economic environment that promotes reinvestment by the commercial property owners.

Participants in the Comprehensive Plan also recognized that the Village is fully developed, with limited opportunities to expand the tax base. The nearly 30 acres associate with the Property represent the largest redevelopment opportunity in the Village. This development will create over \$1,000,000 in annual tax revenue for the Village on a property that currently is not on the tax rolls.

- (b)** The proposed site is being provided with adequate drainage facilities for surface and storm waters.

The stormwater management plan includes several new stormwater retainage structures including a large underground structure, several ditches to convey water over land, three new dry ponds, and utilizes the existing infiltration areas. The plan ensures that stormwater is properly treated and released gradually to the infiltration area on the south portion of the site. The plan adheres to MMSD and state law requirements and was reviewed and accepted by the Public Works Committee on 06/21/2021.

- (c)** The proposed site is accessible from public roads that are adequate to carry the traffic that can be expected to be generated by the proposed development.

Mandel Group hired Ayres Associates, a nationally renowned traffic engineering firm, to study the traffic in Elm Grove. Ayres took traffic counts in 2019 (pre-COVID) and produced a report on September 23, 2020. Ayres also produced two supplemental reports dated October 11, 2020 and January 11, 2021. These reports found that while the traffic would increase due to this development, the proposed development will not materially impact traffic as measured by wait times at intersections.

The Village of Elm Grove hired TADI to review the Ayres Associates data and report. TADI reviewed the traffic count data and the findings in the Ayres report and found them to be appropriate. TADI agreed that the traffic in Elm Grove would not be materially impacted by this development. The Public Works/Utilities Committee reviewed and approved all of the Ayres and TADI reports.

- (d)** No undue constraint or burden will be imposed on public services and facilities (such as fire, EMT and police protection), street maintenance, maintenance of public areas near the proposed development and/or educational facilities.

The Village of Elm Grove received an EMS Services Impact Analyses dated May 3, 2021. The report estimates that this project will generate between 8-43 additional EMS runs per year. This report indicated a concern with staffing of the EMS as their volunteer numbers continue to decline, which is an issue that will have to be addressed whether this Development is built or not. The additional tax revenue generated by this project could be used to address this issue.

The Village of Elm Grove received a list of questions from Fire Chief Kastenholz on April 18, 2021. Mandel Group provided written responses to these questions prior to the May 13, 2021 Plan Commission meeting. Chief Kastenholz indicated at this meeting that the responses and solutions provided were sufficient and he did not have an issue with the plan as proposed. The building will be fully-sprinklered for fire protection purposes and will feature large cab elevators.

The Village of Elm Grove received a memo from Police Chief Jim Gage on April 20, 2021. The main concerns related to the emergency access to the site. Written responses to the memo were provided to the Village prior the May 13, 2021 Plan Commission meeting. The responses were accepted at the meeting and no further issues were raised regarding the Police Department.

- (e)** The private roads and driveways on the site of the proposed development are adequate to serve the users of the proposed development.

The roads on the site will have a 20' wide drive aisle with parallel parking on each side of the road. This is designed to accommodate the residents of the Development as well as provide appropriate emergency vehicle access.

- (f)** Public sanitary sewerage facilities are adequately provided.

The public sanitary sewer facilities that will be built and dedicated to the Village are located in Stephen Place as shown on Exhibit J. The remaining sanitary sewer lines are private laterals tying into existing sanitary sewer lines. The design of all sanitary sewer facilities was reviewed by Ruckert and Mielke, the third-party engineering firm utilized by the Village, as part of the utility plan review. The review indicated that the new and existing sanitary sewer lines are appropriately sized and have adequate capacity. The Public Works/Utilities Committee subsequently approved the Ruckert and Mielke review.

- (g) The entire tract or lots to be included in a Planned Development Overlay District is subject to the terms and conditions of the development agreement, and the legal description encompasses said PDO District as a single area, shows all of its component lots and has been prepared to be recorded with the Register of Deeds for Waukesha County.

The Preliminary CSM in Exhibit A and the Preliminary Plats in Exhibit B provide the legal descriptions, shows the PDO District as a single area, and shows the component lots. The Preliminary CSM and Preliminary Plats will be recorded at the Register of Deeds for Waukesha County.

- (h) The proposed project will be adequately served by appropriate off-street parking.

There are 386 underground parking stalls for residents, which equates to 1.65 stalls per unit. This ratio is lower than code (2 per unit) but is higher than what is typically built in the multifamily industry for suburban areas near Milwaukee. The success of our development is contingent upon the acceptance of the apartments and parking by potential residents. Our experience with similar communities we have developed indicates the 386 parking spaces will adequately serve residents. There are more than 70 surface parking spots for guests and visitors. The surface spaces are parallel parking stalls on either side of the new road.

- (i) The architectural design, landscaping, control of lighting and general site development will result in an attractive and harmonious project compatible without unreasonably affecting the property values of the surrounding neighborhood.

The developer worked with the Building Board from October 2020 to July 2021 through a series of nine public meetings to refine the original design of the multifamily apartments. The visible portions along Watertown Plank Road have been designed in a manner to be consistent in size with surrounding buildings. The existing single-family homes along Stephen Place and Red Barn Lane are buffered from the apartment buildings by the introduction of new single-family homes along both streets. The existing single-family homes along Green Meadow Place are buffered by a landscape berm and new tree plantings. In addition, the southernmost apartment building is located more than 60 feet farther away from the existing homes than the existing School Sisters' buildings. The new single-family homes near Green Meadow Place

are arranged in a traditional cul de sac, a change from a previously proposed pocket neighborhood.

The design of the apartment buildings utilizes a variety of high-quality and durable materials, including stone, fiber-cement wood-simulating products, and fiber-cement siding. A full material list is included in Exhibit D.

The design of the buildings along Watertown Plank Road have evolved into a residential façade with bays akin to townhomes. The design of these buildings draws from elements of The Watermark located across the street, providing a complementary aesthetic for the neighborhood.

The preservation of Notre Dame and Maria Halls will preserve the iconic view as residents and visitors enter and leave the Village along Watertown Plank Road.

The quality of design, sensitivity to building locations, and utilization of landscape buffers create a development that integrates with the surrounding neighborhood in a manner that does not adversely impact property values.

- (j) The locations for entrances and exits have been designated to prevent unnecessary interference with the safe and efficient movement of traffic on surrounding streets and that the development will not create an unreasonable adverse effect upon the general traffic pattern of the surrounding neighborhood.

The main (and only) access to the site will be the School Sisters of Notre Dame current entrance off Watertown Plank Road. The secondary access off Stephen Place will be abandoned to avoid additional multifamily traffic on Stephen Place and Red Barn Lane.

Secondary emergency access will be located on Watertown Plank Road near the Juneau intersection. In reviewing access with our traffic engineer and the Village, we determined that a second public access point near the Juneau intersection would negatively impact the performance and safety of that intersection and therefore we limited that access point to emergency vehicles only.

- (k) Provision has been made for the adequate and continuing operation and maintenance of all aspects of the project.

Mandel Property Services, Inc. ("MPSI") currently manages approximately 6,000 units in Wisconsin, Iowa, Minnesota, Kansas, and Missouri and will serve as the property manager. MPSI works diligently to uphold its reputation of customer service for its residents as reflected in a portfolio leased at 98.8%.

- (I) The proposed project has, where applicable, been examined with respect to its compatibility with the nonmandatory Downtown Overlay District Site Design Guidelines set forth in § **335-12G**.

This section recognizes the importance of a central business district maintaining a traditional "Village Center" design theme within a recognized Downtown Design Overlay District, which encompasses the Development's site. Key elements included in the Development's design: neighborhood compatibility, pedestrian-friendly design, empathetic building placement, use of high-quality materials, and consideration for public safety and health. The intended purpose of these guidelines helps direct how Village staff, the Plan Commission, and the Building Board in reviewing proposals in the Downtown Design Overlay District to create an attractive Downtown Elm Grove.

The Developer has worked with a respected architectural firm in the greater metropolitan area, Engberg-Anderson Architects, to adhere to the spirit of the design guidelines and honor the unique aspects of the existing historic buildings on the School Sisters site. Via continual dialogue and input process with Village staff, the Plan Commission, and the Building Board, the developer and architect have designed a project meant to blend the historic charm of the village while enhancing aesthetic qualities for the future.

Although the School Sisters property is located outside the area designated in the Downtown District Site Design Guidelines, the Development adheres to the spirit of the guidelines through its tripartite building forms; high-quality exterior façade material selections; building scale; window and door selection and placement; signage design; lighting design; mechanical equipment concealment; and landscaping selections and placement.

- (3) In the case of a proposed PDO District with residential uses, the Village Plan Commission, in making its preliminary and final recommendations, and the Village Board, in making its decision on any proposed PDO District, shall also consider the following:

- (a)** Such development will provide an attractive residential environment of sustained desirability and economic stability.

Our approach to the design of our apartment communities over the past 30 years has evolved to meet the needs and demands of the market. We continue to own and manage many of the communities we developed decades ago. These communities are an indication of the long-term viability of our developments.

This Development responds to both short-term and long-term trends in the multifamily industry with spacious apartments and heavily-amenitized communities to appeal to empty nesters for decades to come. Proof of concept can be found in similar developments in the north shore area where LightHorse in Shorewood, Beaumont Place (Whitefish Bay), and Chiswick (Fox Point) have been well received in the community. This walkable Development with amenities that include a clubroom, fitness center, pool, lounge areas with firepits, and grilling areas will be sustainable and desirable for the long-term.

- (b)** The impact of the population composition of the project upon the school district's capacity to provide needed educational services.

The developer projected the number of school children at this development based on similar developments completed by the developer. The number of children projected for the school district was 23. Dr. Mark Hansen, the Elmbrook School District Superintendent, in discussions with the developer, indicated that he does not anticipate a significant number of new students from the Development due to the rent prices anticipated at the Development.

John Domaszek, a Building Board member and Village Trustee, in conjunction with the school district, performed a similar analysis based on the number of students from apartment communities within the district. His analysis indicated 59 additional children for the school district, a number that the superintendent indicated was manageable for the school district.

- (c)** Permanent preservation of open space areas as shown on the approved site plan is ensured by the creation of appropriate easements and recorded deed restrictions.

A sidewalk and walking path easement will be provided to the Village in order for the public to access the walking path located behind the south apartment building. The other open spaces in the development will be private.

- (d)** The proposed mixture of uses produces a unified composite which is compatible within the underlying districts and which, as a total development entity, is compatible with the surrounding neighborhood.

The residential uses are consistent with the Rm-1, Rs-3, and Rs-4 underlying zoning uses. The buildings along Watertown Plank Road are compatible in size, scale, and design of the buildings across Watertown Plank Road. The single-family parcels are consistent with the single-family neighborhoods along Stephen Place, Red Barn Lane, and Green Meadow.

Exhibit A – Preliminary Certified Survey Map

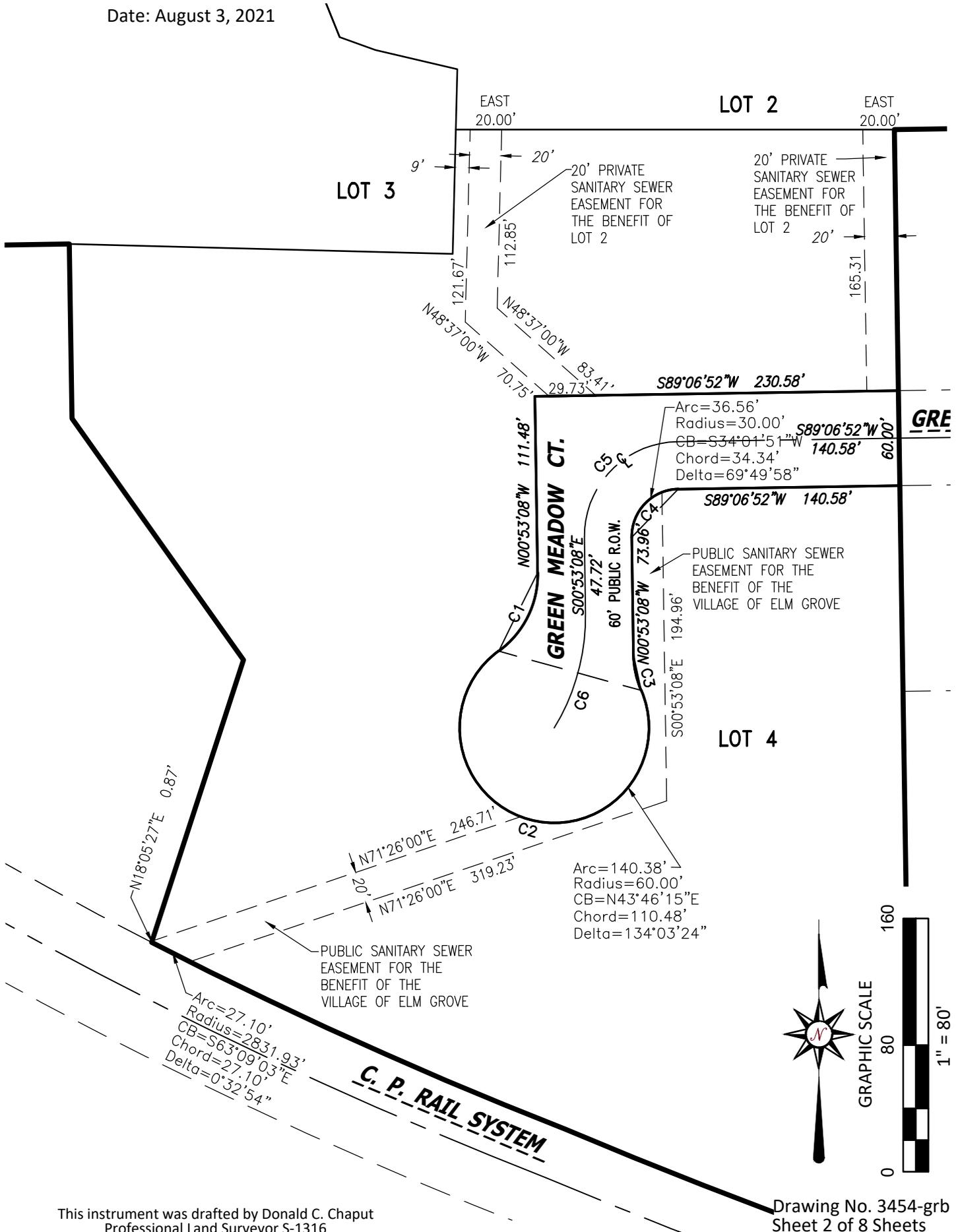
CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 25,
Town 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin.

SANITARY SEWER EASEMENTS & DEDICATION DETAIL

*SEE SHEET 6 FOR CURVE INFORMATION

Date: August 3, 2021



CERTIFIED SURVEY MAP NO. _____

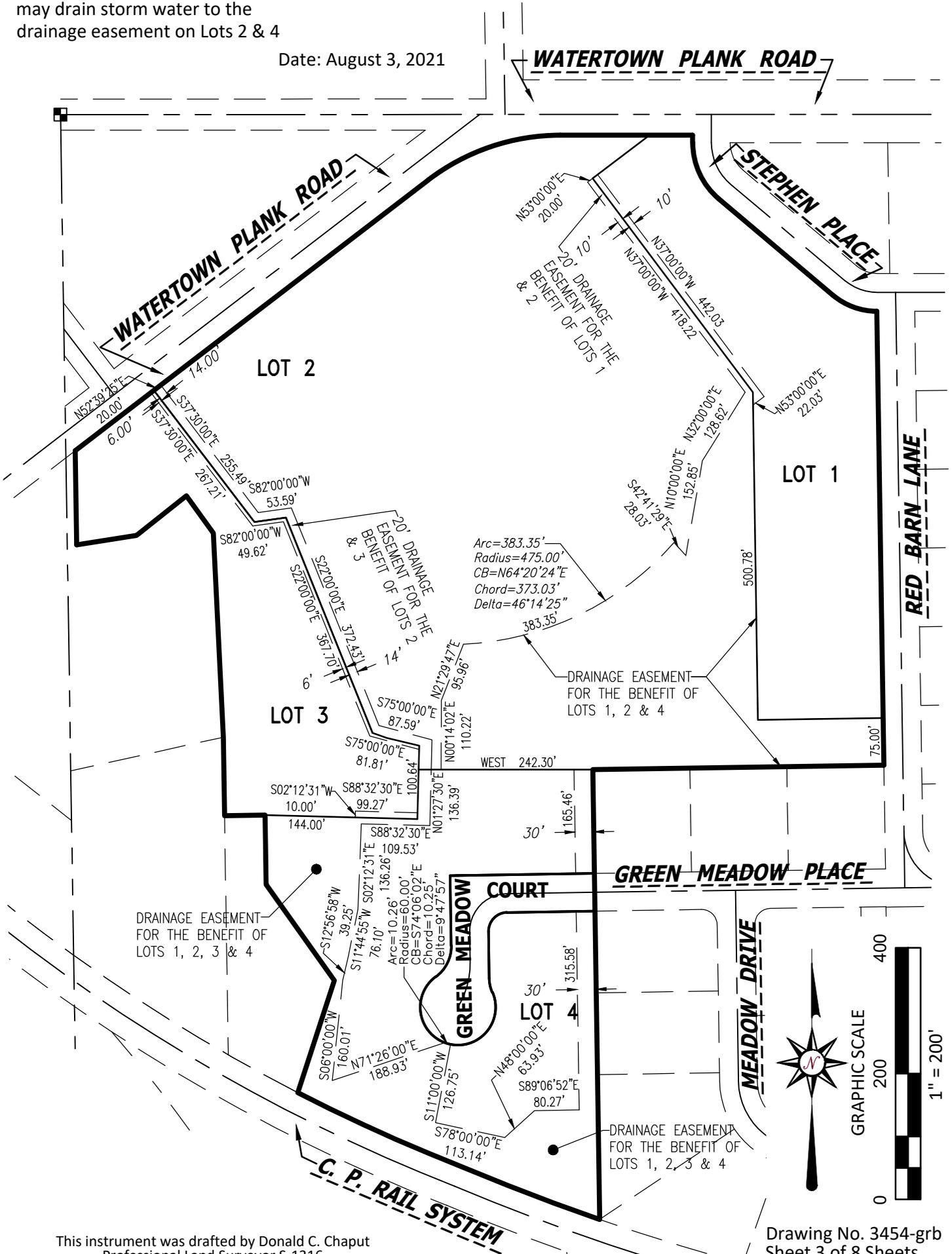
Part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 25,
Town 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin.

DRAINAGE EASEMENTS

Notes:

- Any future development of Lot 1 may drain storm water to the drainage easement on Lot 2
- Any future development of Lot 4 may drain storm water to the drainage easement on Lots 2 & 4

Date: August 3, 2021

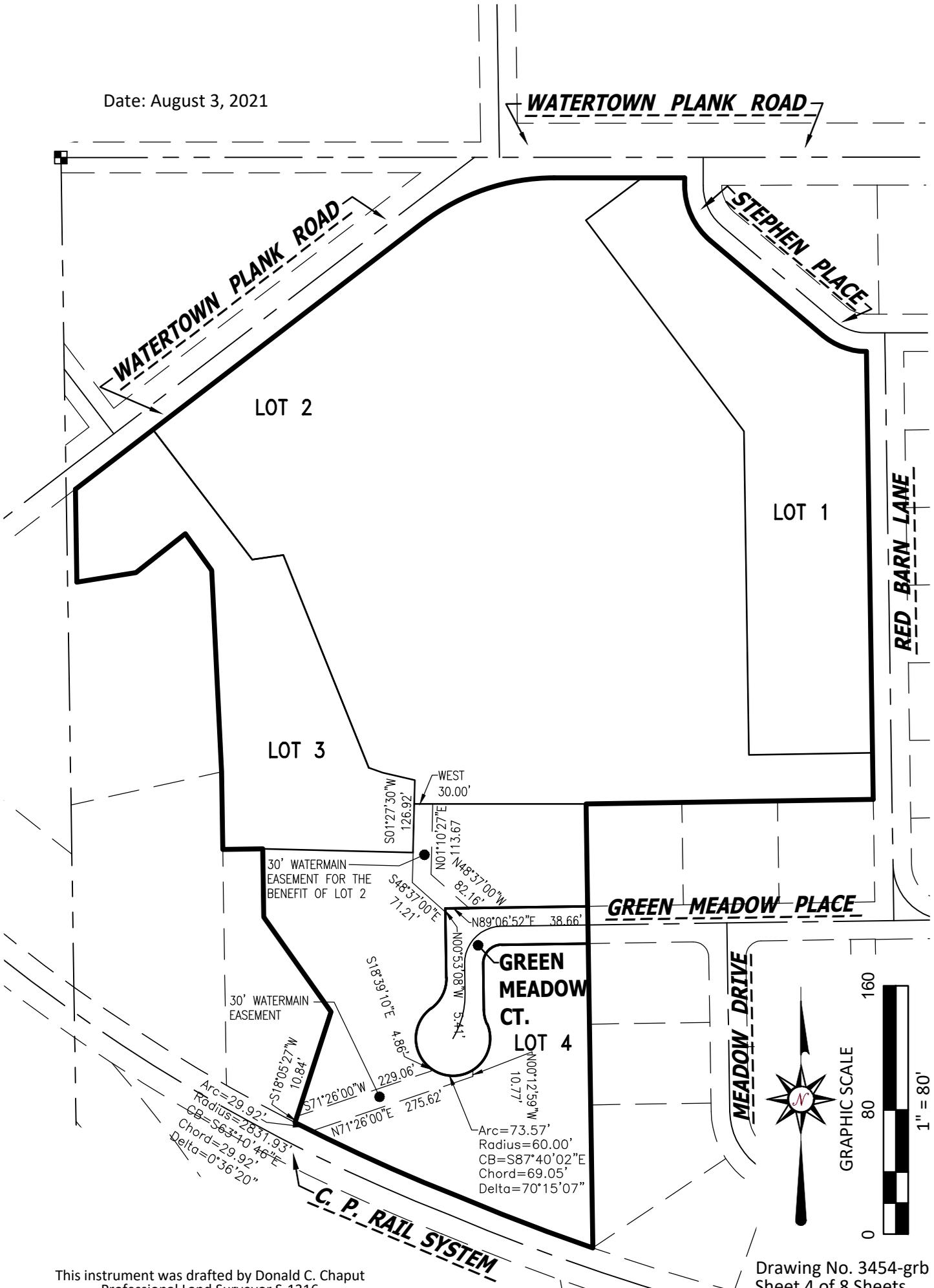


CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 25,
Town 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin.

WATERMAIN EASEMENTS

Date: August 3, 2021



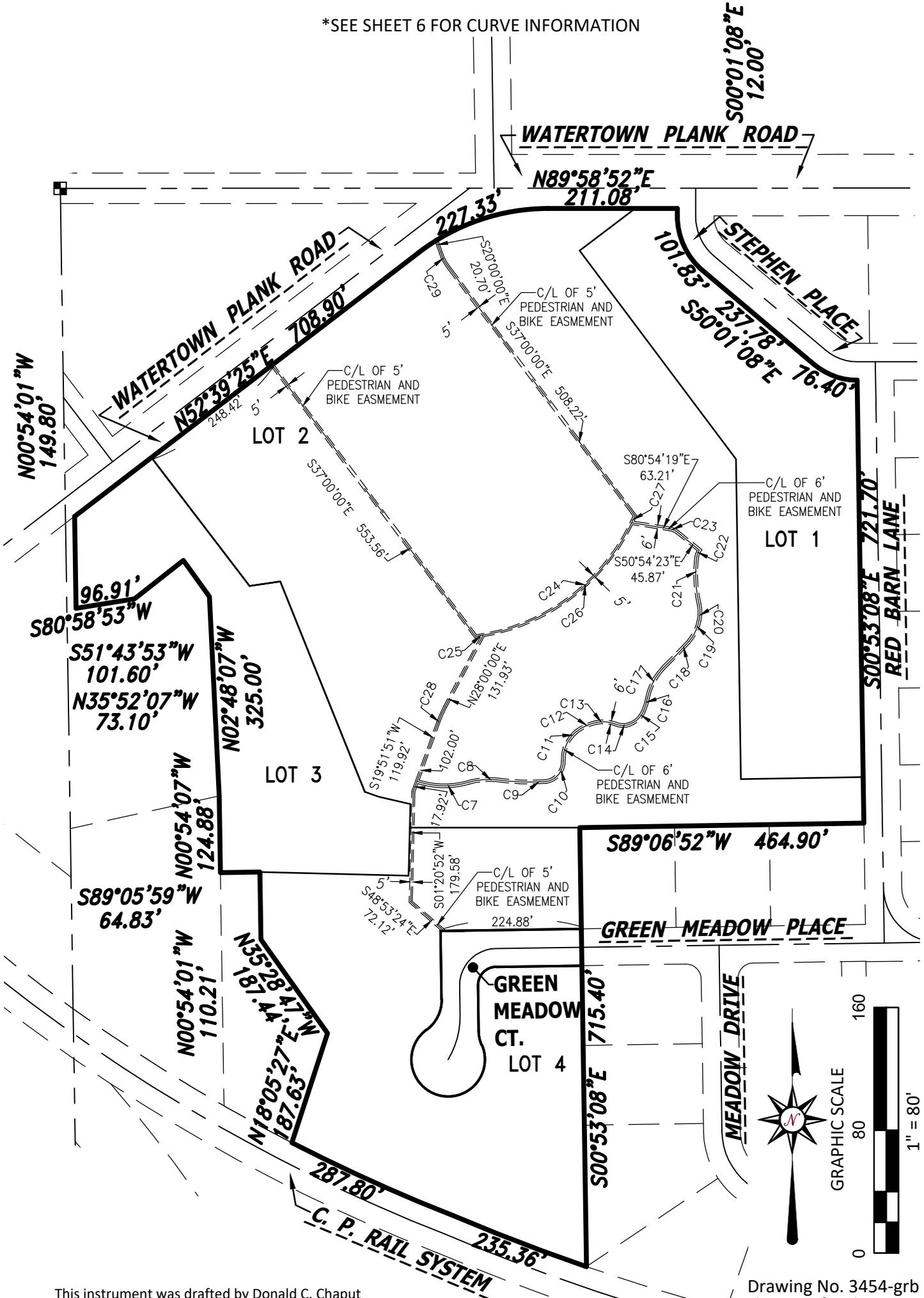
CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 25,
Town 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin.

PEDESTRIAN & BIKE EASEMENTS

Date: August 3, 2021

*SEE SHEET 6 FOR CURVE INFORMATION



CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 25,
Town 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin.

Date: August 3, 2021

CURVE INFORMATION

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	57.47'	60.00'	54°52'54"	N26°33'19"E	55.30'
C2	269.40'	60.00'	257°15'13"	S74°37'51"E	93.75'
C3	23.43'	60.00'	22°22'19"	S12°04'18"E	23.28'
C4	47.12'	30.00'	90°00'00"	S44°06'52"W	42.43'
C5	94.25'	60.00'	90°00'00"	S44°06'52"W	84.85'
C6	75.92'	133.81'	32°30'34"	N15°22'09"E	74.91'
C7	86.54'	140.00'	35°24'58"	S89°02'40"E	85.17'
C8	44.96'	119.97'	21°28'17"	N85°02'48"E	44.70'
C9	81.27'	394.10'	11°48'52"	S87°59'12"E	81.12'
C10	48.74'	33.12'	84°19'12"	N40°01'25"E	44.46'
C11	53.45'	58.82'	52°03'50"	S24°01'35"W	51.63'
C12	36.41'	82.04'	25°25'45"	S65°21'59"W	36.11'
C13	32.19'	54.95'	33°33'57"	N85°22'27"W	31.73'
C14	23.52'	32.18'	41°53'00"	S88°42'37"E	23.00'
C15	32.40'	38.60'	48°05'15"	N46°42'57"E	31.46'
C16	22.13'	113.58'	11°09'53"	N16°57'22"E	22.10'
C17	55.74'	98.77'	32°20'04"	S27°25'55"W	55.00'
C18	59.14'	762.70'	4°26'34"	N44°17'14"E	59.13'
C19	40.36'	73.04'	31°39'48"	N26°49'51"E	39.85'
C20	26.47'	62.84'	24°08'06"	N00°04'13"W	26.28'
C21	77.12'	204.85'	21°34'07"	S02°59'23"E	76.66'
C22	12.57'	29.00'	24°49'51"	S20°44'26"W	12.47'
C23	14.14'	27.00'	29°59'56"	N65°54'21"W	13.98'
C24	341.13'	332.18'	58°50'19"	N53°00'00"E	326.33'
C25	12.24'	332.18'	2°06'41"	N81°21'49"E	12.24'
C26	316.48'	332.18'	54°35'18"	N53°00'50"E	304.65'
C27	12.40'	332.18'	2°08'20"	N24°39'01"E	12.40'
C28	28.04'	197.50'	8°08'09"	S23°55'56"W	28.02'
C29	25.39'	73.77'	19°43'03"	S26°58'41"E	25.26'

CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 25,
Town 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin.

OWNER'S CERTIFICATE

Mandel Group Properties LLC, a Wisconsin limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, hereby certifies that said limited liability company caused the land described on this Certified Survey Map to be surveyed, divided, dedicated and mapped as represented on this map in accordance with the requirements of the Village of Elm Grove.

Mandel Group Properties LLC, as owner, does further certify that this map is required by S.236.20 or 236.12 to be submitted to the following for approval or objection: Village of Elm Grove.

IN WITNESS WHEREOF, Mandel Group Properties LLC, has caused these presents to be signed by the hand of _____, on this _____ day of _____, 2021.

In the presence of:

Mandel Group Properties LLC

STATE OF WISCONSIN}
 :SS
WAUKESHA COUNTY}

Personally came before me this ___ day of _____, 2021, _____, to me known as the person who executed the foregoing instrument and acknowledged that he executed the foregoing instrument as such officer as the deed of said limited liability company, by its authority.

Notary Public
State of Wisconsin
My commission expires. _____
My commission is permanent.

VILLAGE BOARD APPROVAL

Resolved that the Certified Survey Map located in That part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 25, in Township 7 North, Range 20 East, in the Village of Elm Grove is approved by the Village Board of the Village of Elm Grove.

Date

Neil Palmer, Village President

Date

Michelle Luedtke, Village Clerk/Deputy Treasurer

VILLAGE OF ELM GROVE PLAN COMMISSION APPROVAL

Resolved that the Certified Survey Map located in That part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 25, in Township 7 North, Range 20 East, in the Village of Elm Grove is approved by the Village Plan Commission of the Village of Elm Grove.

Date

Neil Palmer, Chairperson

Exhibit B – Preliminary Plats of Survey and Statistics

PRELIMINARY PLAT OF GREEN MEADOW

A subdivision of Lot 4 of Certified Survey Map No. _____, being a Part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 25, Town 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin.

Owner: Mandel Group Properties LLC
330 E. Kilbourn Ave.
Suite 600 South
Milwaukee, WI, 53202

Subdivider: Miller Marriott Construction Co. LLC
249 Pawling Ave.
Hartland, WI 53029

Engineer: Trio Engineering, LLC
4100 N. Calhoun Rd.
Suite 300
Brookfield, WI 53005-2000

Surveyor: Chapat Land Surveys
234 West Florida Street
Suite 306
Milwaukee, WI, 53204

Approving/Obecting Agencies:

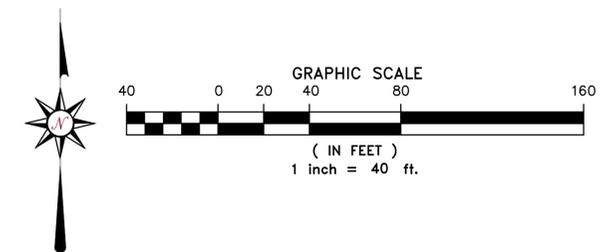
- Village of Elm Grove (approving)
- Department of Administration (approving)
- Waukesha County Department of Parks and Land Use (Objecting)

Notes:

- Development contains 13 Lots
- Development contains 249,172 square feet, or 5.7202
- All lots to be served by public sanitary sewer and public water main
- Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone) in which the West line of the NE 1/4 of Section 25, Township 7 North, Range 20 East, bears South 00°54'01" East
- According to the flood insurance rate map of the County of Waukesha, Community Panel No. 55133C0237G, effective date of November 5, 2014, this site falls in Zone X (areas of minimal flood hazard)
- Topography by Chapat Land Surveys, dated April 19 2020. (NGVD - 29)
- Site is currently zoned I-1 and proposed to be zoned PDO, with RS-4 underlying zoning
- (D) Proposed street dedication
- ———— Indicates Drainage Direction
- All streets to be improved with concrete curb and gutter and asphalt pavement.
- Outlot 1 to be owned and Maintained by the owner of Lot 2, Certified Survey Map No. _____. To be used for a public walkway.
- Outlot 2 to be owned and maintained by the owner of Lot 2, Certified Survey Map No. _____. It will be encompassed by a drainage easement. The drainage easement will be granted to the Owners and Future Homeowners within Lots 1, 2, 3 & 4 of Certified Survey Map No. _____.

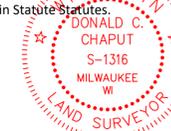
Planned Development Overlay, RS-4 underlying zoning:

- Minimum Lot Area= 11,000 S.F.
- Street Yard Setback= 25'; corner lot side street setback= 15'
- Side Yard Setback= 8'
- Rear Yard Setback= 25'
- Max building footprint area= no greater than 30% of lot area
- Max impervious surface= 40%



I, Donald C. Chapat, Professional Land Surveyor, do hereby certify that this Preliminary Plat is a correct representation of all existing land divisions and features, and that I, to the best of my knowledge, have fully complied with the provisions of the Subdivision and platting municipal codes of the Village of Elm Grove and Chapter 236 of the Wisconsin Statute Statutes.

Date: July 23, 2021



Donald C. Chapat
Donald C. Chapat
Professional Land Surveyor
Registration Number S-1316

CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chapatlandsurveys.com

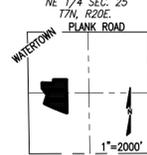
Date	Revision description

This document is an instrument of professional service, and may be protected by the surveyor's work product doctrine or surveyor's client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties.
Drawing No. 3454-dmb

LEGEND

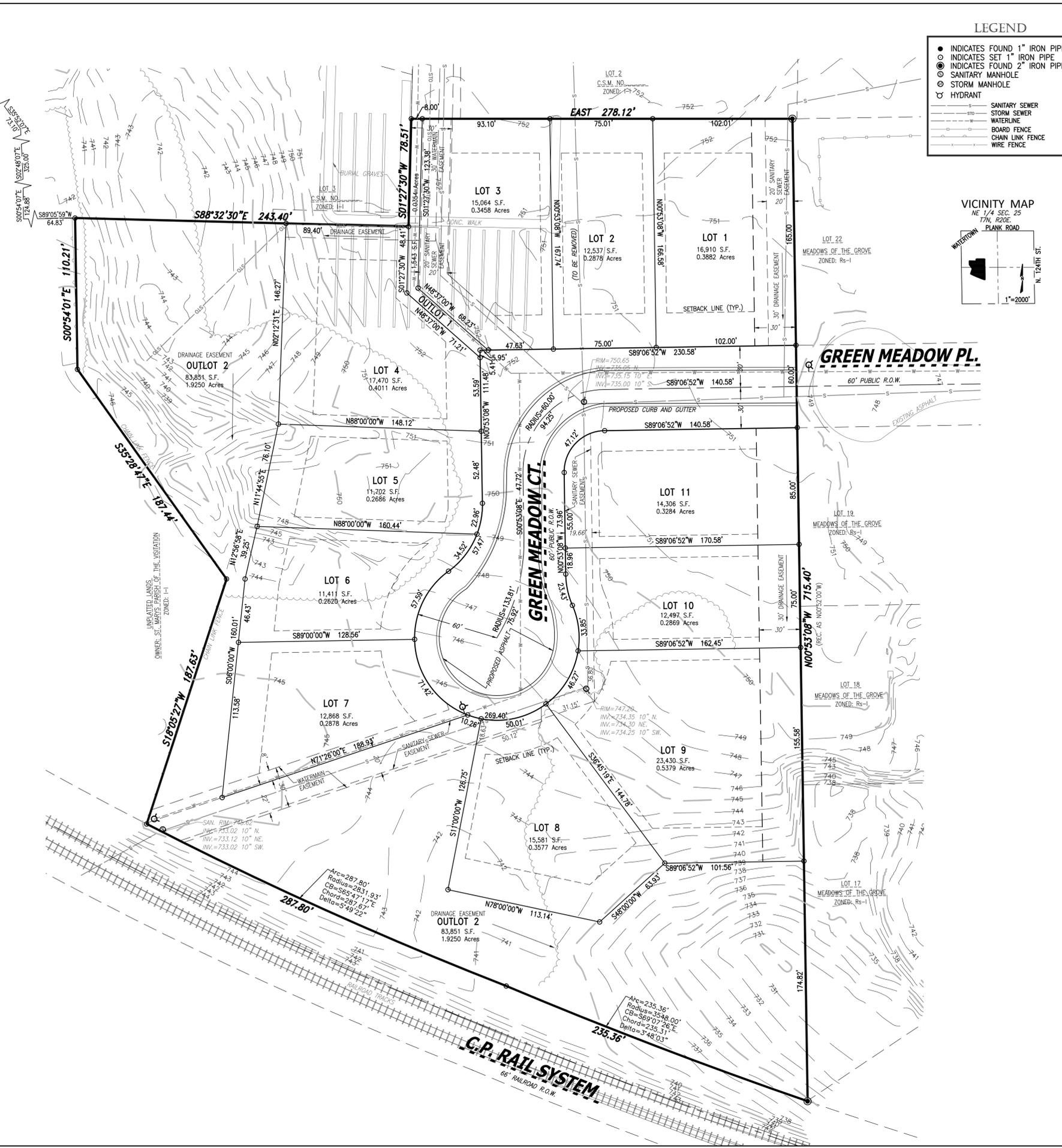
- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- ⊙ INDICATES FOUND 2" IRON PIPE
- ⊕ SANITARY MANHOLE
- ⊖ STORM MANHOLE
- ⊗ HYDRANT
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- BOARD FENCE
- CHAIN LINK FENCE
- WIRE FENCE

VICINITY MAP



CONC. MON. WITH BRASS CAP
NW COR. OF NE 1/4 SEC. 25, 17N, R20E.

CONC. MON. WITH BRASS CAP
SW COR. OF NE 1/4 SEC. 25, 17N, R20E.



GREEN MEADOW SUBDIVISION - LOT INFORMATION TABLE

LOT #	LOT AREA		LOT WIDTH (FT) *	LOT FRONTAGE (FT) **	SETBACKS (FT)			
	SF	AC			FRONT	FRONT SIDE	SIDE	REAR
1	16,910	0.388	102.0	102.0	25	25	8	25
2	12,537	0.288	75.0	75.0	25	-	8	25
3	15,064	0.346	75.1	47.6	25	-	8	25
4	17,470	0.401	75.1	53.6	25	-	8	25
5	11,702	0.269	75.1	75.0	25	-	8	25
6	11,411	0.262	90.1	89.6	25	-	8	25
7	12,868	0.288	75.3	71.2	25	-	8	25
8	15,581	0.358	75.3	53.1	25	-	8	25
9	23,430	0.538	75.2	49.7	25	-	8	25
10	12,497	0.287	75.9	75.0	25	-	8	25
11	14,306	0.328	84.6	88.2	25	15	8	25

RED BARN SUBDIVISION - LOT INFORMATION TABLE

LOT #	LOT AREA		LOT WIDTH (FT)	LOT FRONTAGE (FT)	SETBACKS (FT)			
	SF	AC			FRONT	FRONT SIDE	SIDE	REAR
1	22,698	0.521	150.4	128.9	30	30	10	25
2	15,173	0.348	100.6	100.6	30	-	10	25
3	16,640	0.382	96.5	96.5	30	-	10	25
4	19,065	0.438	98.4	110.8	30	-	10	25
5	24,749	0.568	160.2	196.7	30	-	10	25
6	18,000	0.413	90.0	90.0	50	-	10	25
7	18,000	0.413	90.0	90.0	50	-	10	25
8	18,000	0.413	90.0	90.0	50	-	10	25
9	18,000	0.413	90.0	90.0	50	-	10	25
10	18,000	0.413	90.0	90.0	50	-	10	25

Notes:

* Lot Width is measured at front setback, tangent to lot line.

** Lot Frontage is the lot width at the street right-of-way.

Exhibit C – Zoning Site Plan

ZONING SITE MAP

 PROPOSED

 EXISTING

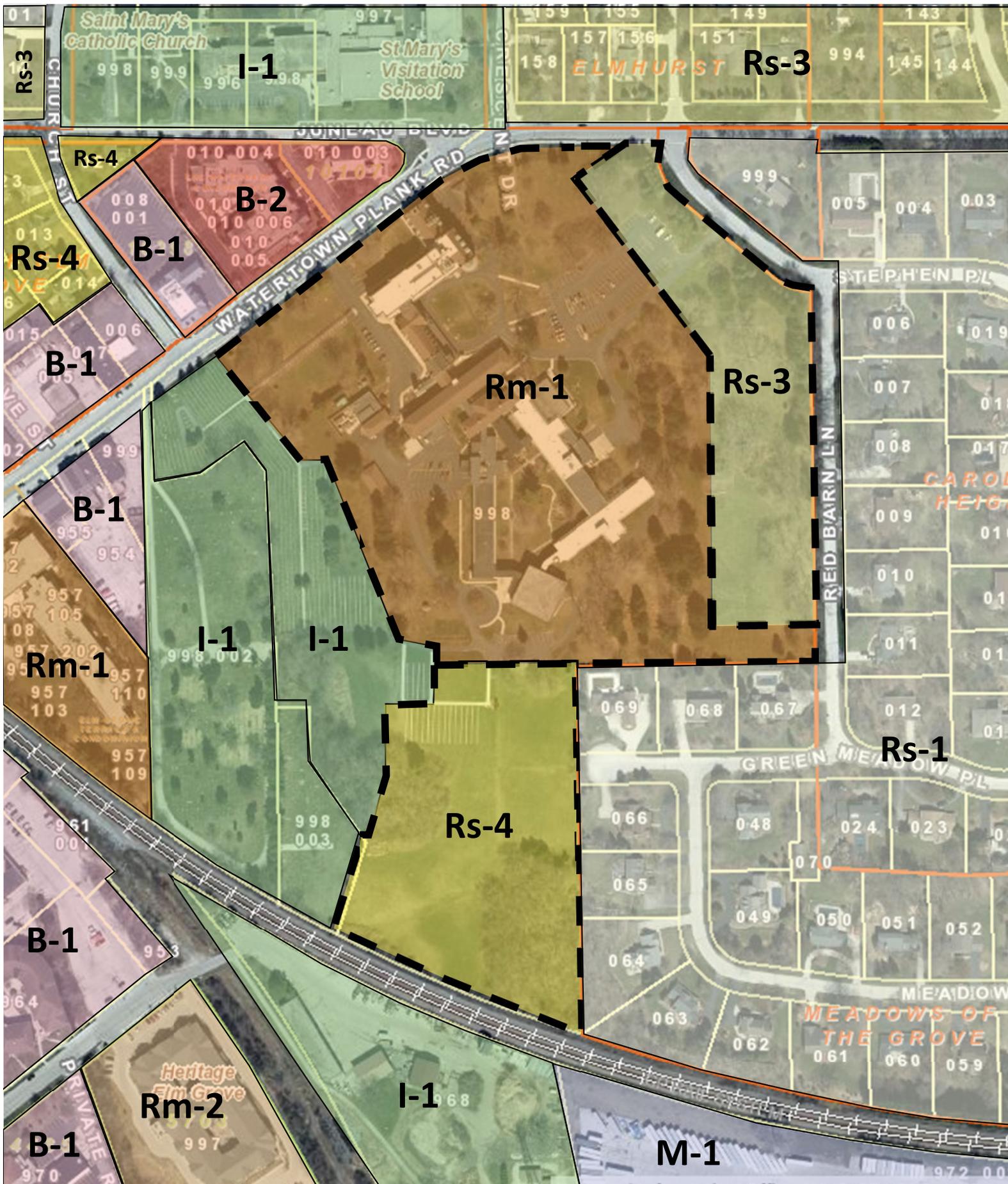
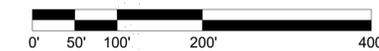
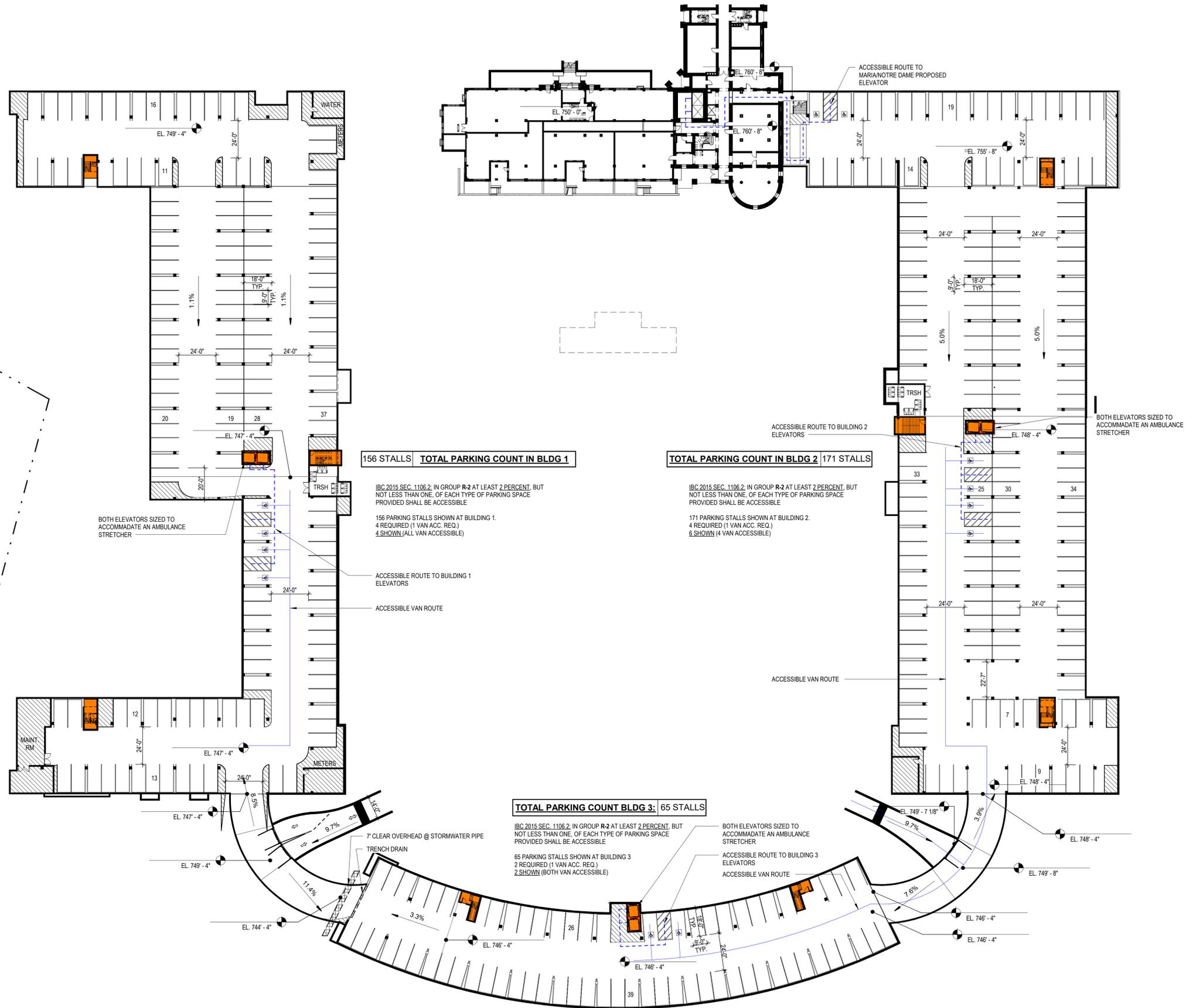
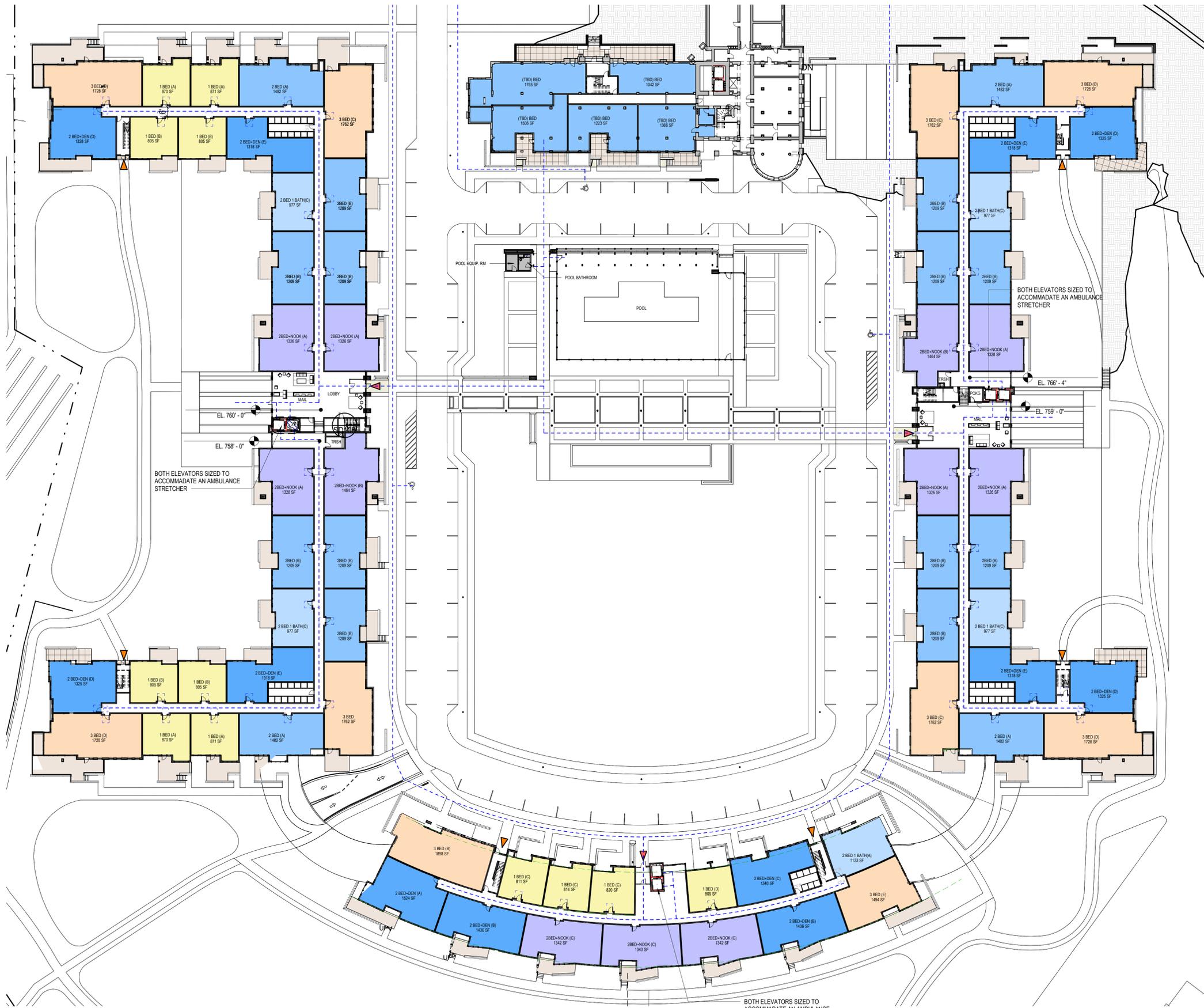


Exhibit D – Architectural Plans and Materials



SCALE: 1" = 100'-0"





JUNEAU BLVD

WATERTOWN PLANK ROAD

RED BARN LANE

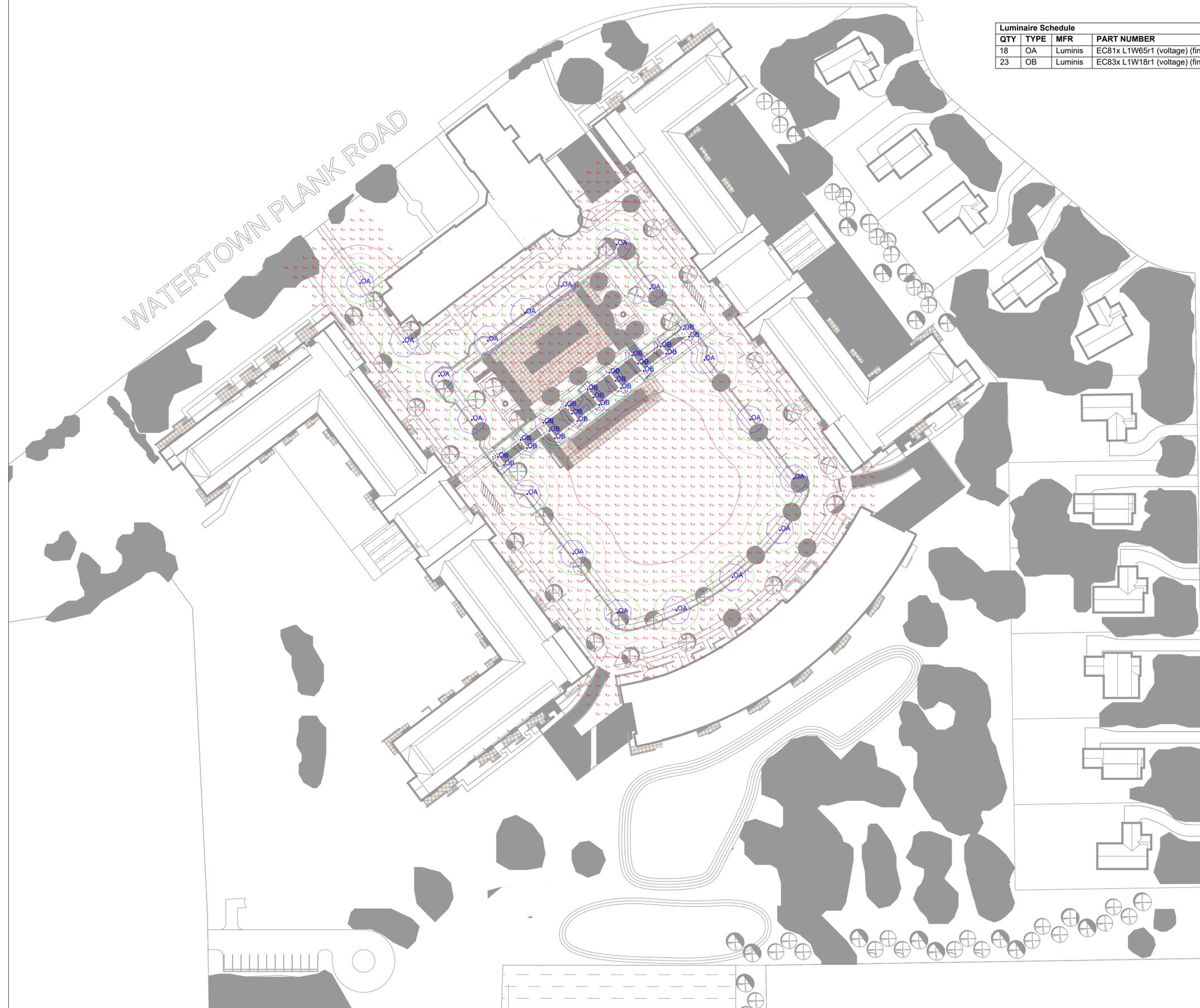
Luminaire Schedule						
QTY	TYPE	MFR	PART NUMBER	LLF	Lum. Watts	Total Watts
18	OA	Luminis	EC81x L1W65r1 (voltage) (finish) + PAA414	0.950	48	864
23	OB	Luminis	EC83x L1W18r1 (voltage) (finish)	0.950	22	506



#	DATE	COMMENTS

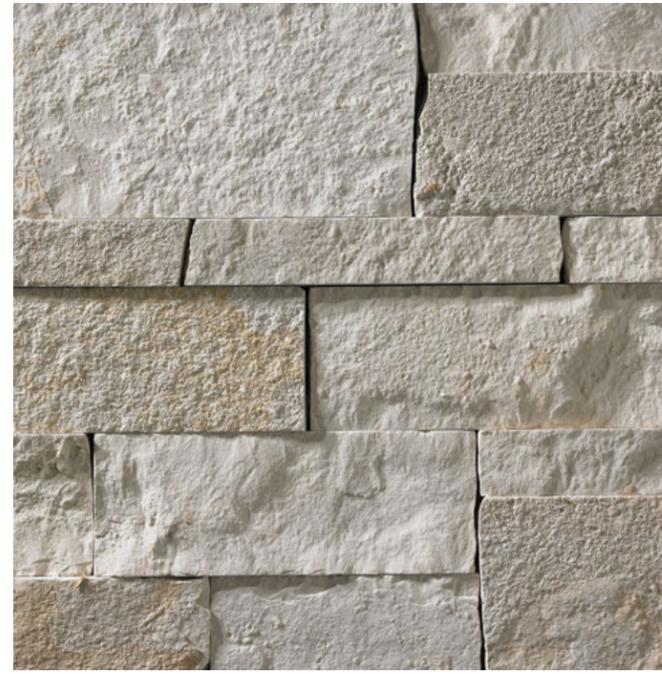
REVISIONS		

SCHOOL SISTERS OF NOTRE DAME	DRAWN BY: JS
ELM GROVE, WI	DATE: 12 / 17 / 2020
LED SITE LIGHTING PLAN	SCALE: 1" = 50'-0"





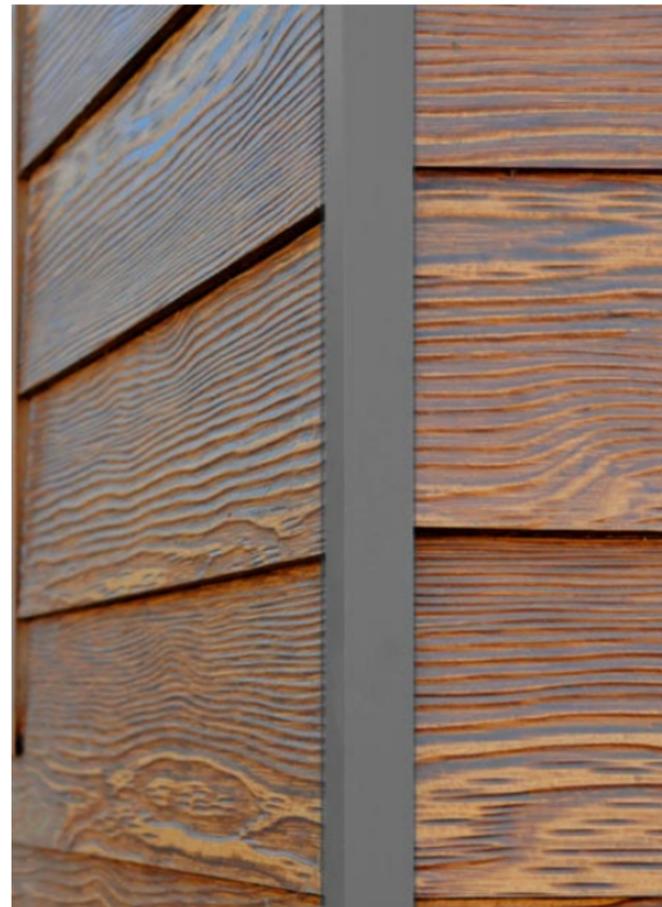
FIBER CEMENT LAP SIDING - JAMES HARDIE ASPYRE - ARTISAN LAP SIDING
PAINTED FINISH - BENJAMIN MOORE CLOUD COVER (TRIM PAINTED TO MATCH)



NATURAL STONE - HALQUIST PRINCETON



ASPHALT SHINGLES - CETAINTEED LANDMARK
WEATHERED WOOD



WOOD LOOK COMPOSITE SIDING -
WOODTONE RUSTICSERIES LAP SIDING
COLOR - OLD CHERRY (TRIM TO MATCH)



ANDERSON 100 SERIES WINDOWS
BLACK EXTERIOR FINISH



UNIT BALCONY DECKING - EXTRUDED
ALUMINUM DECK, PAINTED WOOD TONE TOP
AND BOTTOM

UNIT PATIO MATERIAL - STAINED AND SCORED
CONCRETE

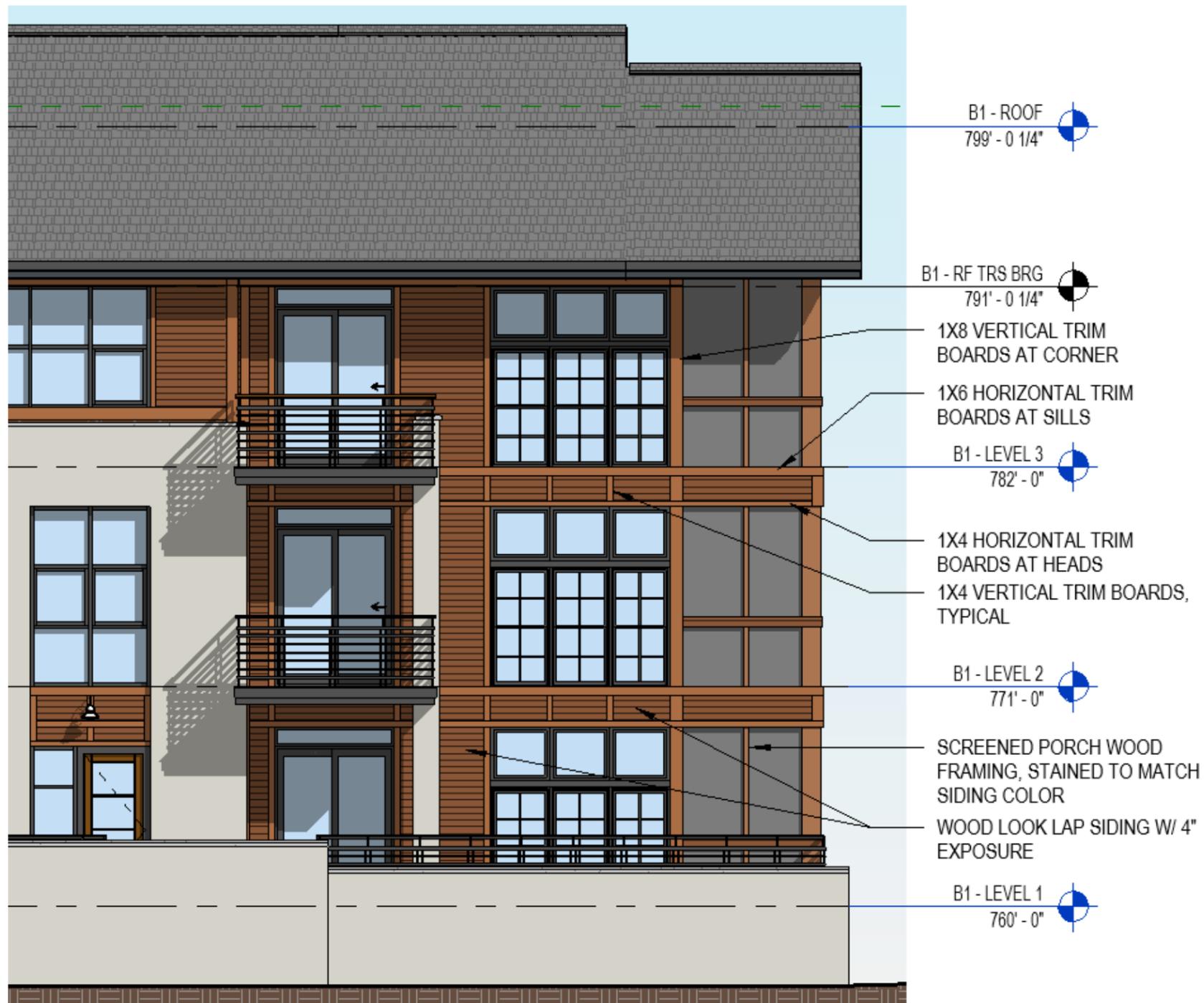


POOL FENCE - KEY-LINK COMMERCIAL SERIES FENCING -
BLACK

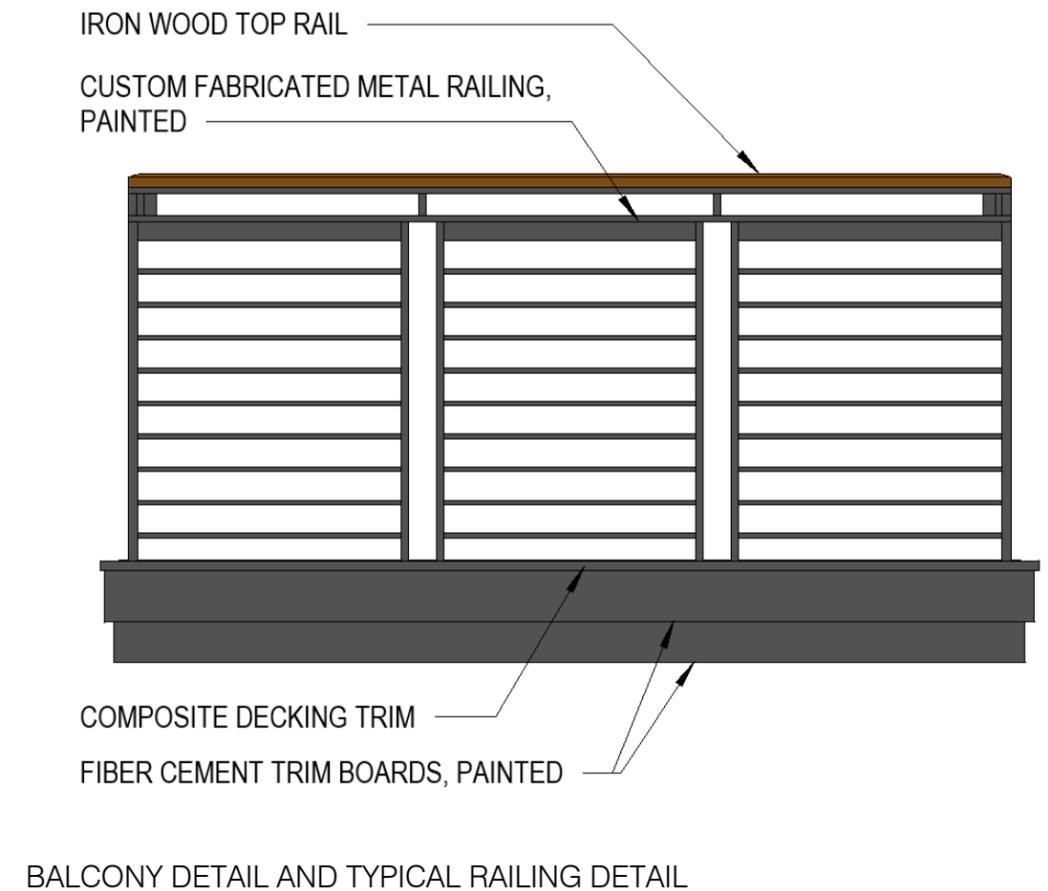
BALCONY RAILING - CUSTOM FABRICATED METAL
RAILINGS - BLACK

SSND ELM GROVE - NEW CONSTRUCTION MATERIALS

PRELIMINARY MATERIAL LIST. SUBJECT TO AVAILABILITY AND/OR EQUIVILENTS

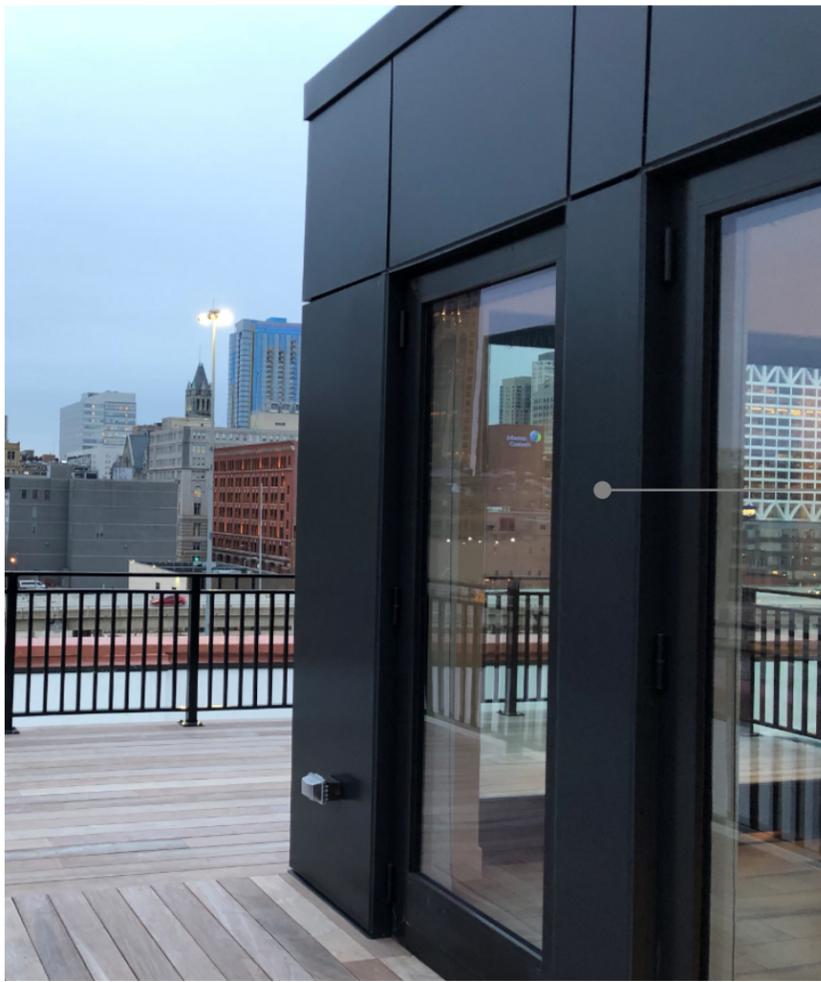


WOOD TRIM DETAILING



SSND ELM GROVE - NEW CONSTRUCTION MATERIALS

PRELIMINARY MATERIAL LIST. SUBJECT TO AVAILABILITY AND/OR EQUIVLENTS



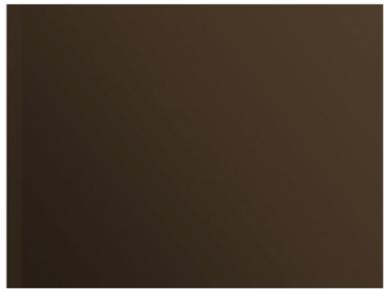
METAL PANEL - CITADEL ENVELOPE 2000 METAL PANELS
COLOR - CLASSIC BRONZE



Classic Bronze



Medium Bronze Anodized



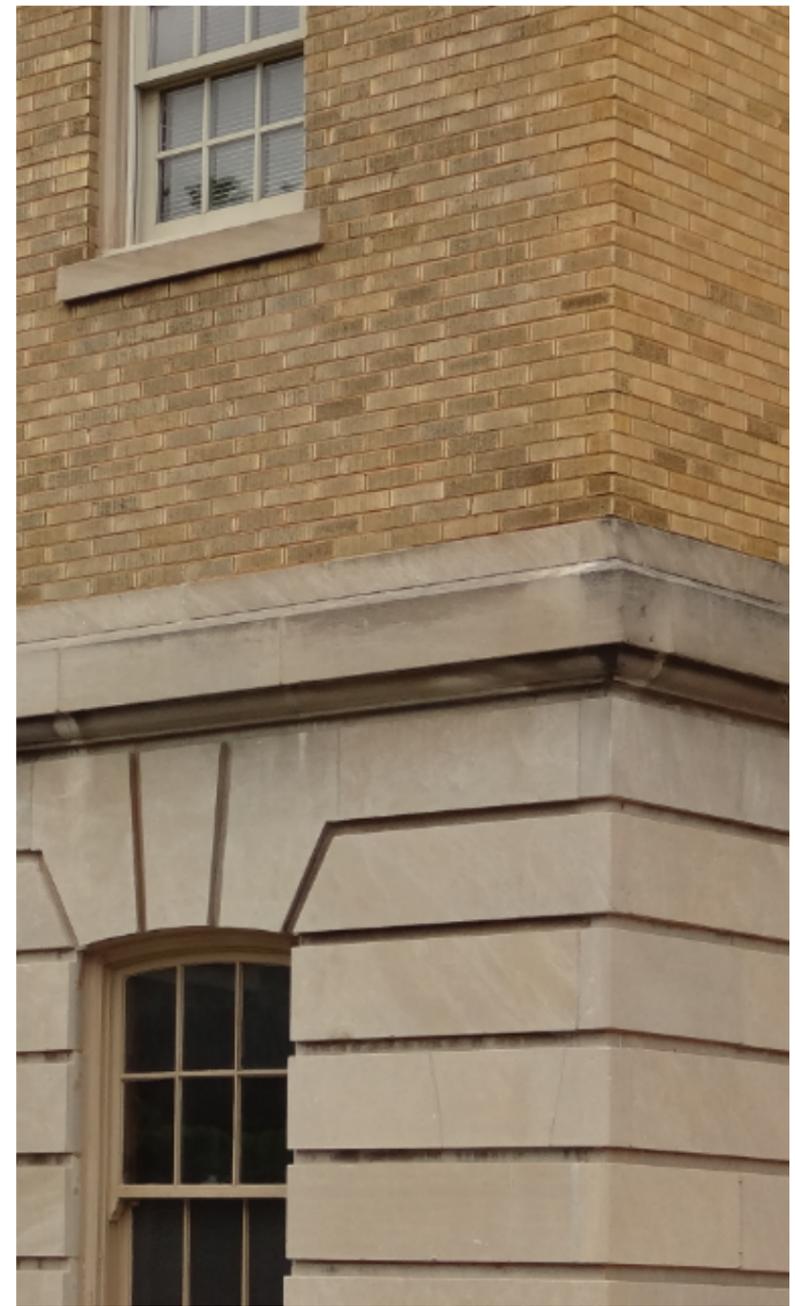
Dark Bronze Anodized



BRICK - GLEN GARY DOLOMITE GREY WIRECUT
BRICK



NEW WINDOW OPENINGS:
ANDERSON 100 SERIES WINDOWS
BLACK EXTERIOR FINISH



EXISTING MARIA HALL STONE/BRICK COMPARISON



STONE - READING ROCK - ROCKCAST ARCHITECTURAL
STONE COLOR - BUFFSTONE



Riesling



Buffstone

SSND ELM GROVE - MARIA HALL ADDITION MATERIALS



BOLLARD - LUMINIS ECLIPSE MAXI EC830
COLOR: BLACK



POLE - LUMINIS ECLIPSE MAXI EC813
COLOR: BLACK



SWING GATE AT EMERGENCY SECONDARY ENTRY - LOGO TBD
SHOWN FOR DESIGN INTENT



WALK-UP UNIT LIGHTING: BASELIGHT
MODEL NO.: SBH08.44.WM24.60INC
COLOR: BLACK



EMERGENCY LANE PAVERS - UNILOCK OPTILOC PAVER -
COLOR SIERRA

SSND ELM GROVE - SITE MATERIALS

PRELIMINARY MATERIAL LIST. SUBJECT TO AVAILABILITY AND/OR EQUIVLENTS

Exhibit E – Architectural Renderings

Proximity of building to street

When measured to the edge of the road (not property line):

Existing Buildings

Watermark: ~35'
Notre Dame: ~23'
Maria Hall: ~105'

Proposed New Buildings

Building 2 at closest point of screened porch: 37'
Building 2 at furthest point (gable end): 108'
Building 1: ~100'-110'

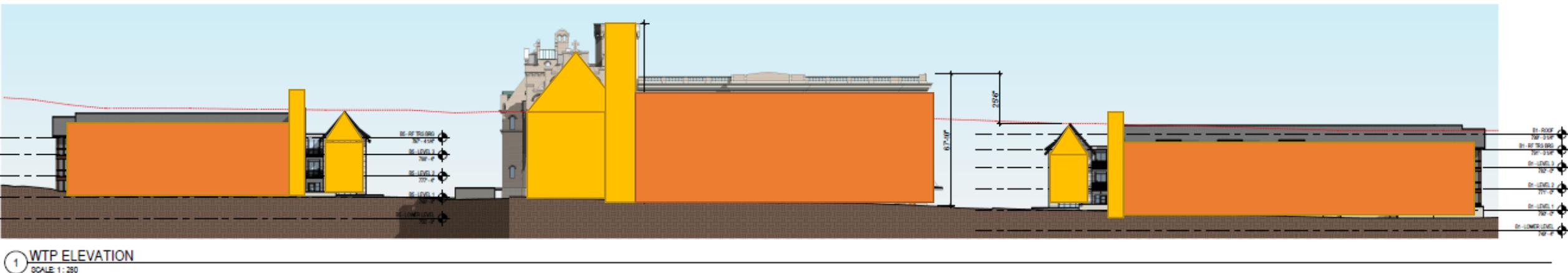


Context Massing study

Notre Dame/Maria Hall composition is balanced by the verticality of the gable end/tower element of Notre Dame with the Horizontality of Maria Hall



The new residential building composition is also balanced by the verticality of the gable end/stone tower element with the Horizontality of the remaining portion of the facade





01







100

101





































Building -2







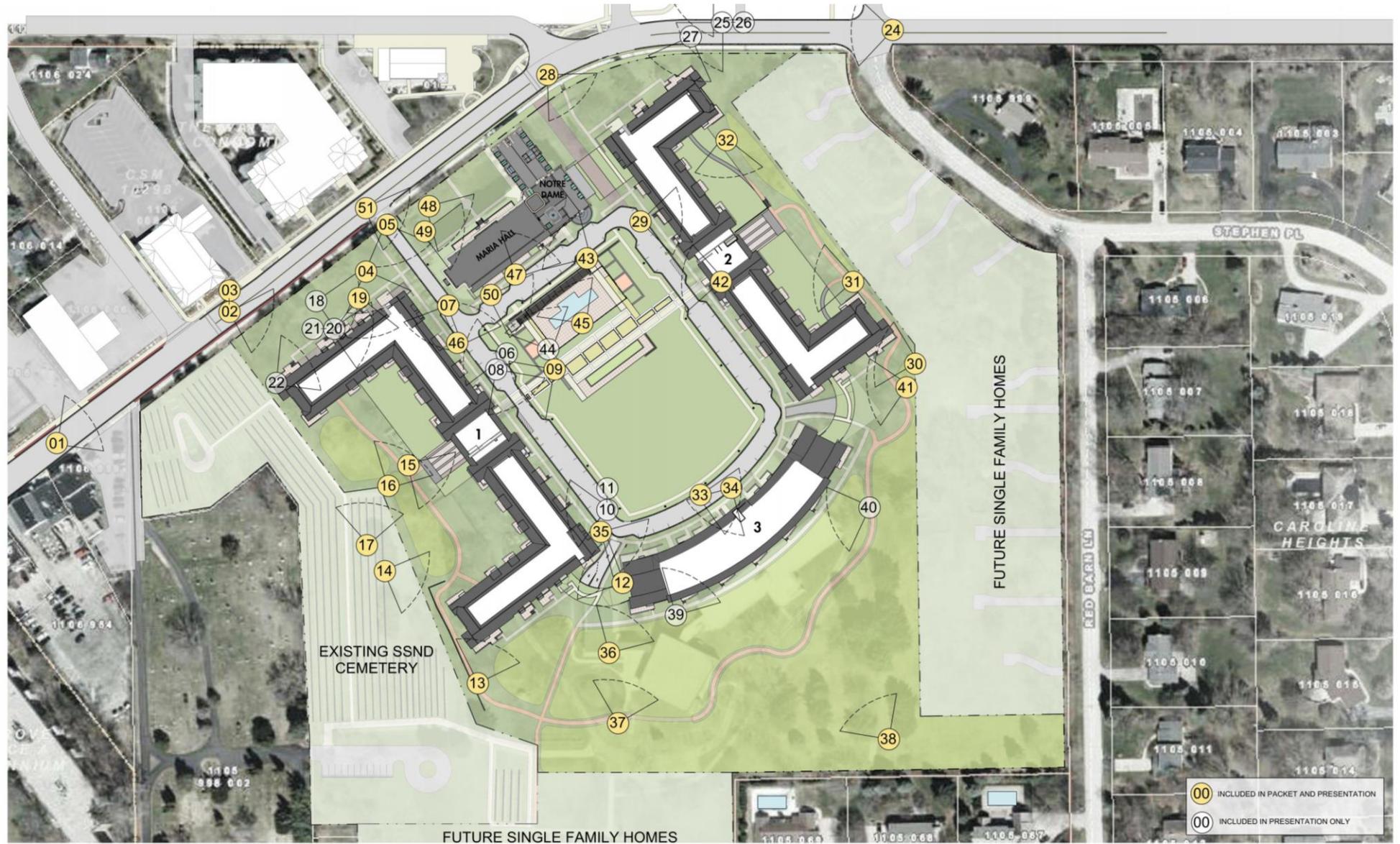












Building -3

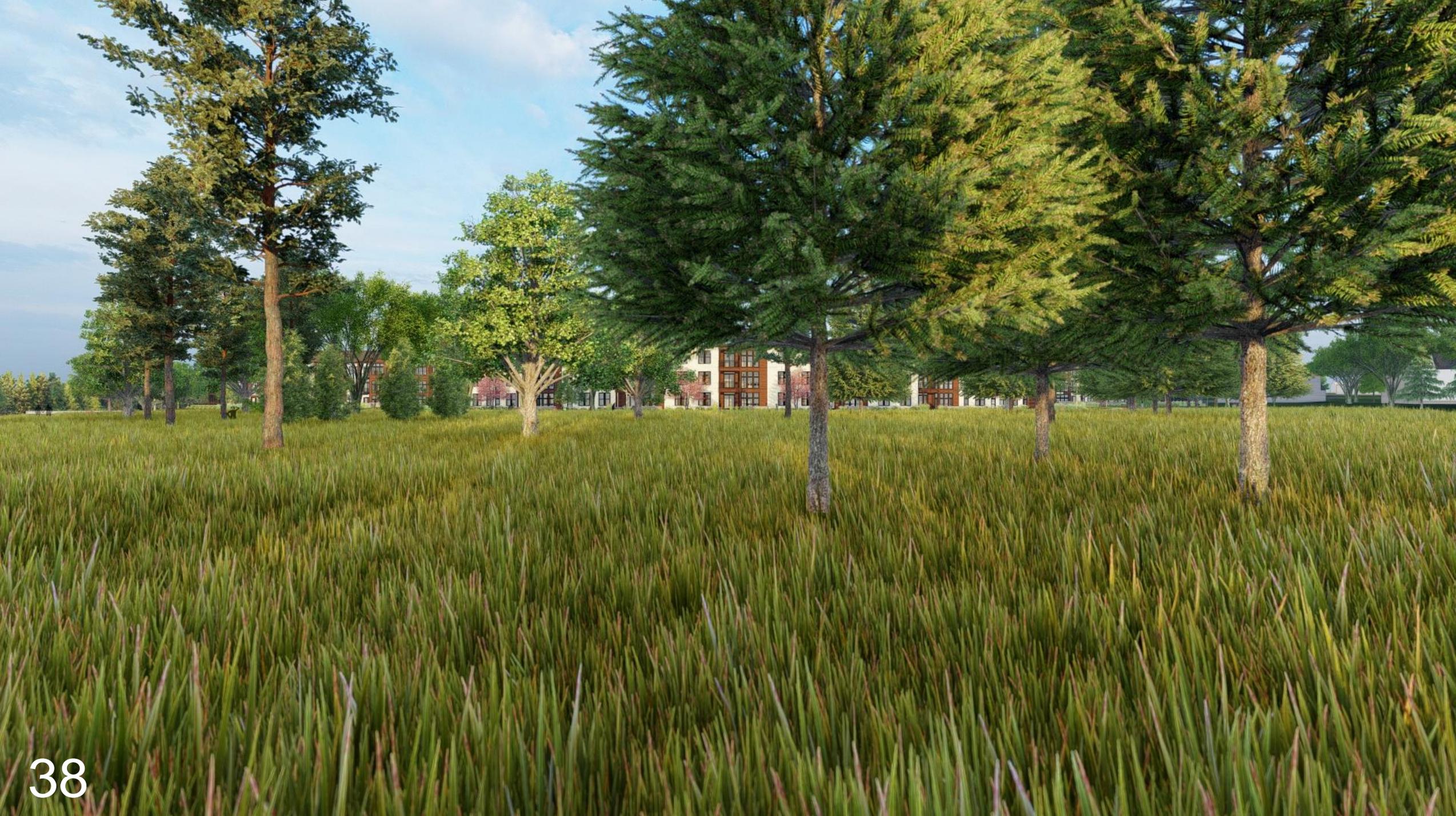








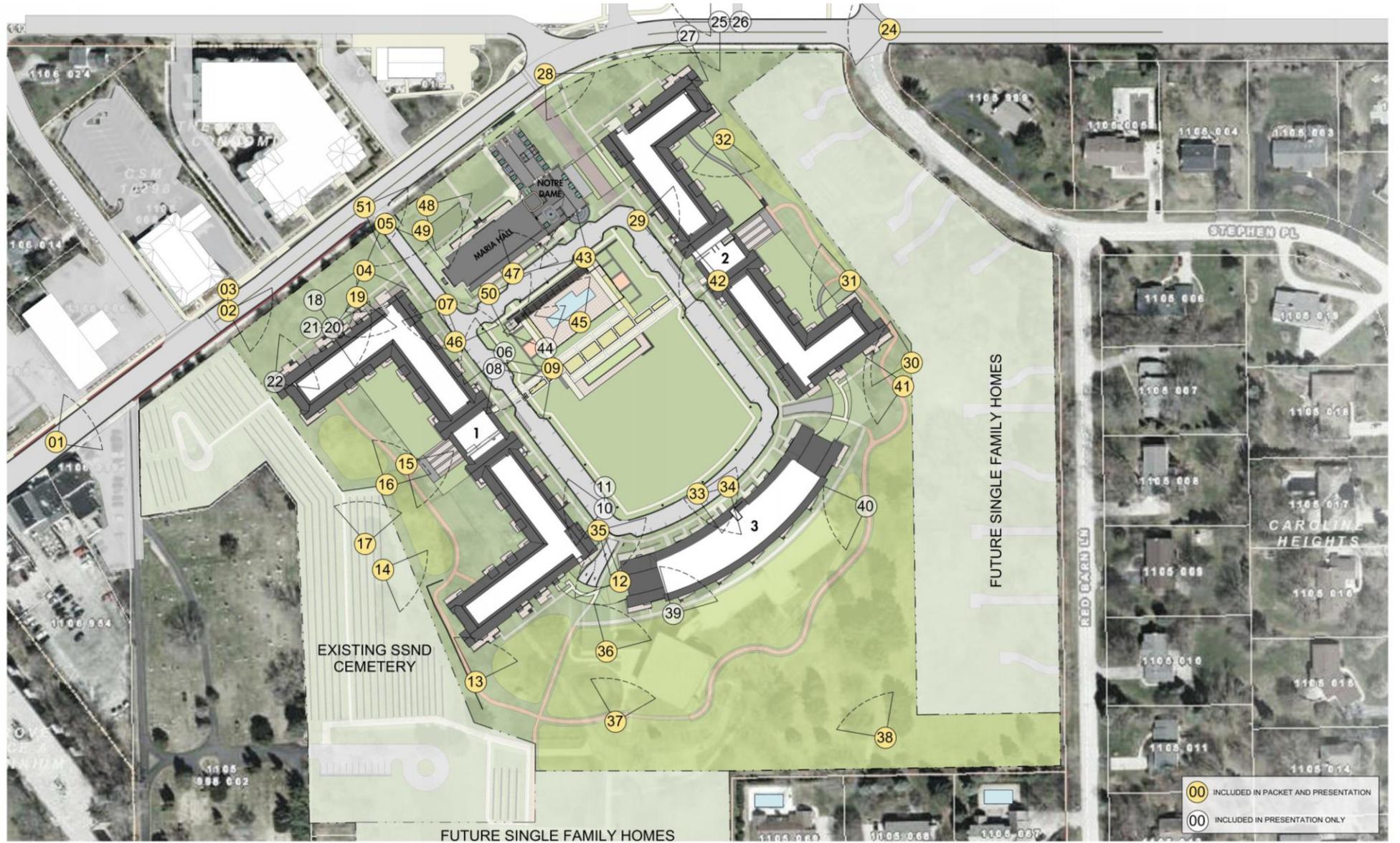












Maria Hall























4 B1 - WEST ELEVATION
SCALE: 1/16" = 1'-0"



3 B1 - EAST ELEVATION
SCALE: 1/16" = 1'-0"



1 B1 - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



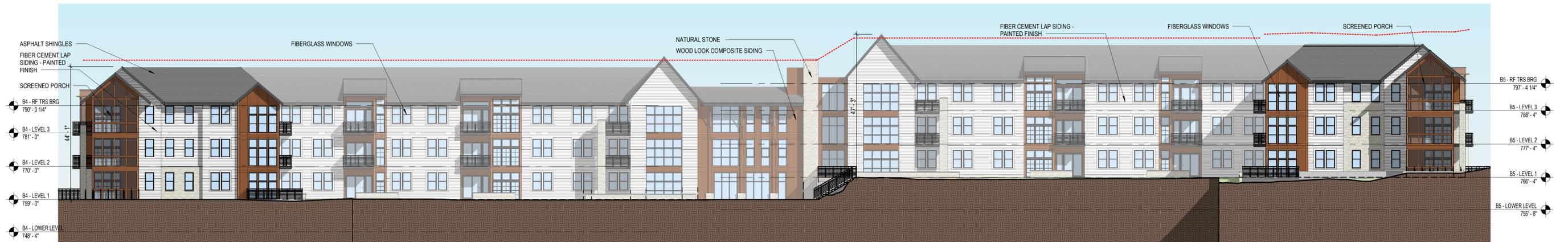
2 B1 - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



1 B1 - COURTYARD SOUTH ELEV.
SCALE: 1/16" = 1'-0"



2 B1 - COURTYARD NORTH ELEV.
SCALE: 1/16" = 1'-0"



4 B2 - EAST ELEVATION
SCALE: 1/16" = 1'-0"



3 B2 - WEST ELEVATION
SCALE: 1/16" = 1'-0"



1 B2 - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



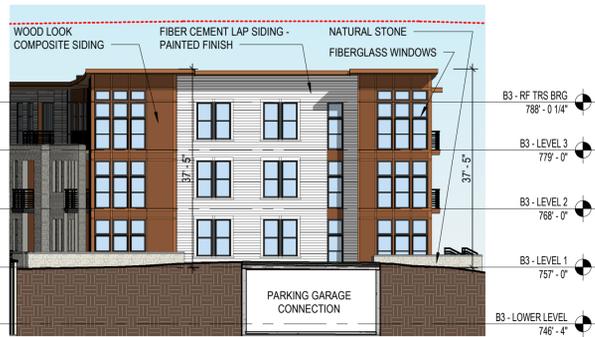
2 B2 - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



1 B2 - COURTYARD SOUTH ELEV.
SCALE: 1/16" = 1'-0"



2 B2 - COURTYARD NORTH ELEV.
SCALE: 1/16" = 1'-0"



3 B3 - WEST ELEVATION
SCALE: 1/16" = 1'-0"



4 B3 - EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 B3 - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



1 B3 - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 M-ND WEST ELEVATION
SCALE: 1/16" = 1'-0"



1 M-ND - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

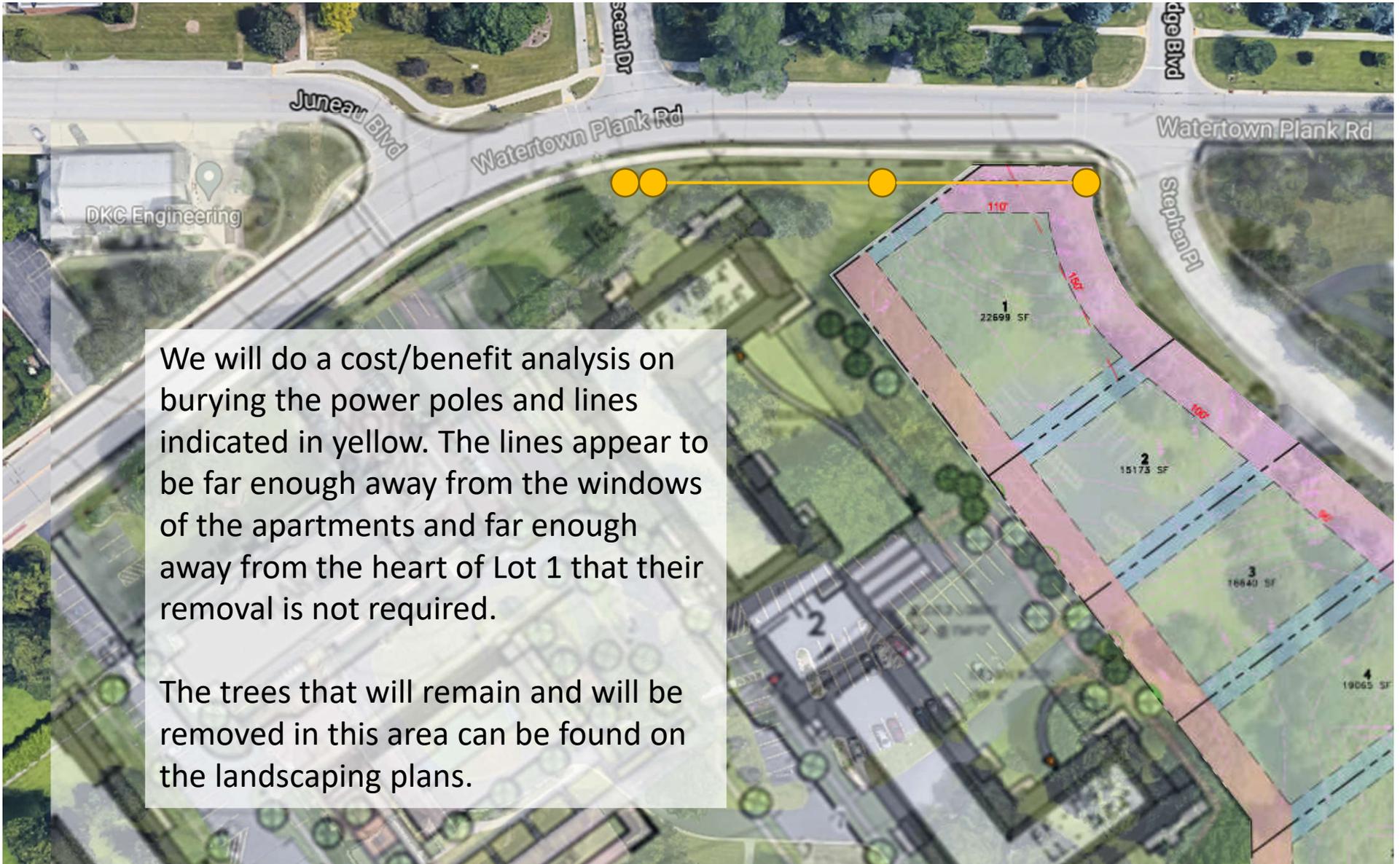
Exhibit F – Building Board Punch List Reponses

The following items respond to the punch list items identified in the Building Board motion below.

“Motion to recommend to the Plan Commission as having substantially met the Building Board's review of the architectural and Landscaping plans as presented at the July 22nd, 2021 Building Board meeting, as reasonably depicting what the Building Board agrees with for incorporation into the Planned Development Overlay agreement, subject to the resolution of the following punch list items as determined by the Plan Commission:

1. Additional clarification as it related to the existing, and proposed new trees and existing power poles on Watertown Plank Road.
2. Additional clarification and detail related to the proposed balcony railings on the backside of Maria and Notre Dame Hall.
3. Lighting fixtures – Detail related to the proposed lighting fixtures and light poles to serve the development.
4. Illumination of the buildings – Where will light fixtures be located on the buildings, more detail is required, possible an updated photo metric plan.
5. Detail related to the proposed pool deck surface materials.
6. Detail of the proposed paver blocks servicing the emergency access lane on the east side of Notre Dame Hall.
7. Detail relating to the gate to be located at the entrance of the emergency access lane on the east side of Notre Dame Hall.
8. Detail of the proposed patio flooring materials.
9. Detail of the proposed pool railing, and material.
10. Detail of the proposed snow removal plan and operating procedure.
11. Detail of the front railing and retaining wall on the north side of Maria Hall (2 tier wall).
12. Complete Signage package to be submitted for the entire development.
13. Detail of the proposed materials of the retaining wall on the east side of building one, and the proposed railing detail and materials.
14. Historical monument to service the development - How will this be accomplished?
15. Slide 24 – Additional detail related to the “framing elements” of the wood bays, depicting how the cross framing technique will actually look.
16. Provide sample material for the proposed patio decking materials.
17. Provide a “materials document” of all the proposed materials and the colors.”

BUILDING BOARD PUNCH LIST ITEM 1



We will do a cost/benefit analysis on burying the power poles and lines indicated in yellow. The lines appear to be far enough away from the windows of the apartments and far enough away from the heart of Lot 1 that their removal is not required.

The trees that will remain and will be removed in this area can be found on the landscaping plans.

BUILDING BOARD PUNCH LIST ITEM 1



View of power poles along Watertown Plank Road

BUILDING BOARD PUNCH LIST ITEM 2



UPDATED RAILINGS AT NOTRE DAME TO MATCH TYPICAL RAILINGS

BUILDING BOARD PUNCH LIST ITEM 3

See Material Selections in Exhibit D for Lighting Fixtures

BUILDING BOARD PUNCH LIST ITEM 4

See LED Site Lighting Plan in Exhibit D for Photometric Plan and Site Lighting Locations

BUILDING BOARD PUNCH LIST ITEM 5



POOL DECK - SCORED CONCRETE

BUILDING BOARD PUNCH LIST ITEM 6

See Material Selections in Exhibit D for Emergency Access Paver Selection

BUILDING BOARD PUNCH LIST ITEM 7

See Material Selections in Exhibit D for Gate Selection

BUILDING BOARD PUNCH LIST ITEM 8



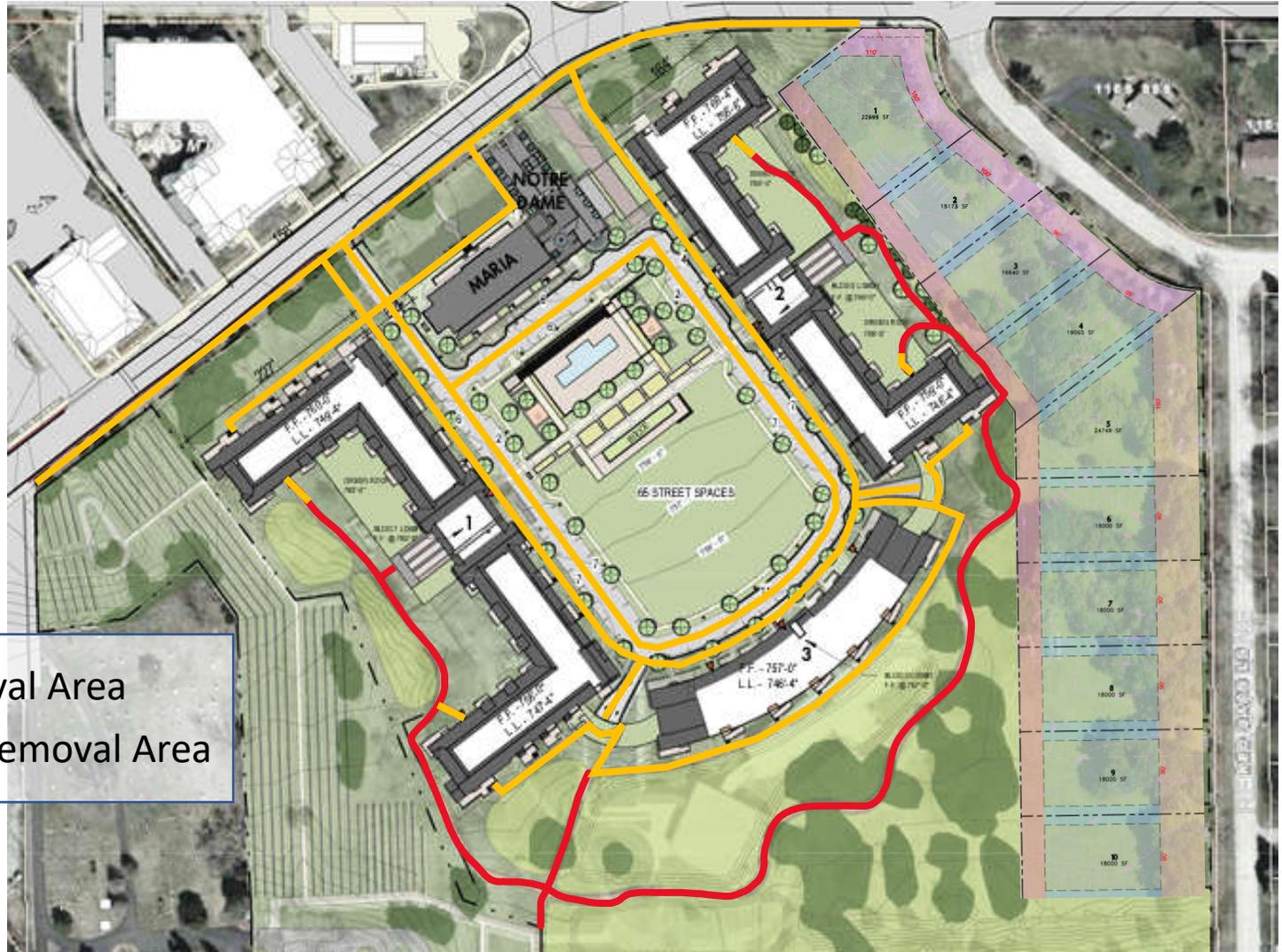
WALK-UP UNIT PATIOS - COLORED CONCRETE W/ SCORING

BUILDING BOARD PUNCH LIST ITEM 9



POOL FENCE RAILING PROFILE – BLACK ALUMINUM

BUILDING BOARD PUNCH LIST ITEM 10



- Snow Removal Area
- Non-Snow Removal Area

BUILDING BOARD PUNCH LIST ITEM 11



MARIA HALL - UPDATED GARDEN UNIT LOOKING EAST

BUILDING BOARD PUNCH LIST ITEM 11



MARIA HALL - UPDATED GARDEN WALLS FROM STREET SIDE

BUILDING BOARD PUNCH LIST ITEM 11



MARIA HALL - UPDATED GARDEN WALLS AERIAL VIEW

BUILDING BOARD PUNCH LIST ITEM 12



SIGNAGE NEAR LEASING OFFICE

BUILDING BOARD PUNCH LIST ITEM 12



SIGNAGE AT POOL DECK

BUILDING BOARD PUNCH LIST ITEM 12



SIGNAGE AT WATERTOWN PLANK ROAD ENTRANCE

BUILDING BOARD PUNCH LIST ITEM 13



RETAINING WALL - SCORED CONCRETE W/ RAILING
TO MATCH TYPICAL RAILING @ BALCONIES

PLANTINGS HIDDEN FOR CLARITY

BUILDING BOARD PUNCH LIST ITEM 13



RETAINING WALL - SCORED CONCRETE W/ RAILING
TO MATCH TYPICAL RAILING @ BALCONIES

PLANTINGS SHOWN

BUILDING BOARD PUNCH LIST ITEM 14

The Developer will work with the School Sisters of Notre Dame to design a series of outdoor pedestals and signs throughout the campus to honor the Sisters heritage at the property. We envision bronze plaques on pedestals located along sidewalks, the walking path, near the grape arbor, and at Notre Dame Hall. The plaques will contain narratives commemorating important aspects of the School Sisters' mission and important events related to the property.

BUILDING BOARD PUNCH LIST ITEM 15

See Material Selections in Exhibit D for Details on the Framing Elements of the Bays

BUILDING BOARD PUNCH LIST ITEM 16

The patio will be scored concrete, so no material sample is provided. Please see the rendering in Punch List Item 8 to see the scored concrete.

BUILDING BOARD PUNCH LIST ITEM 17

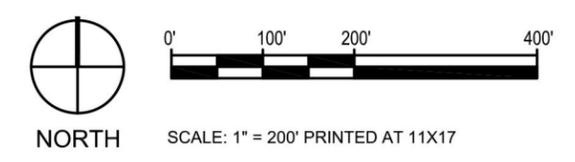
Please see the material list in Exhibit D for a list of exterior materials and representative images.

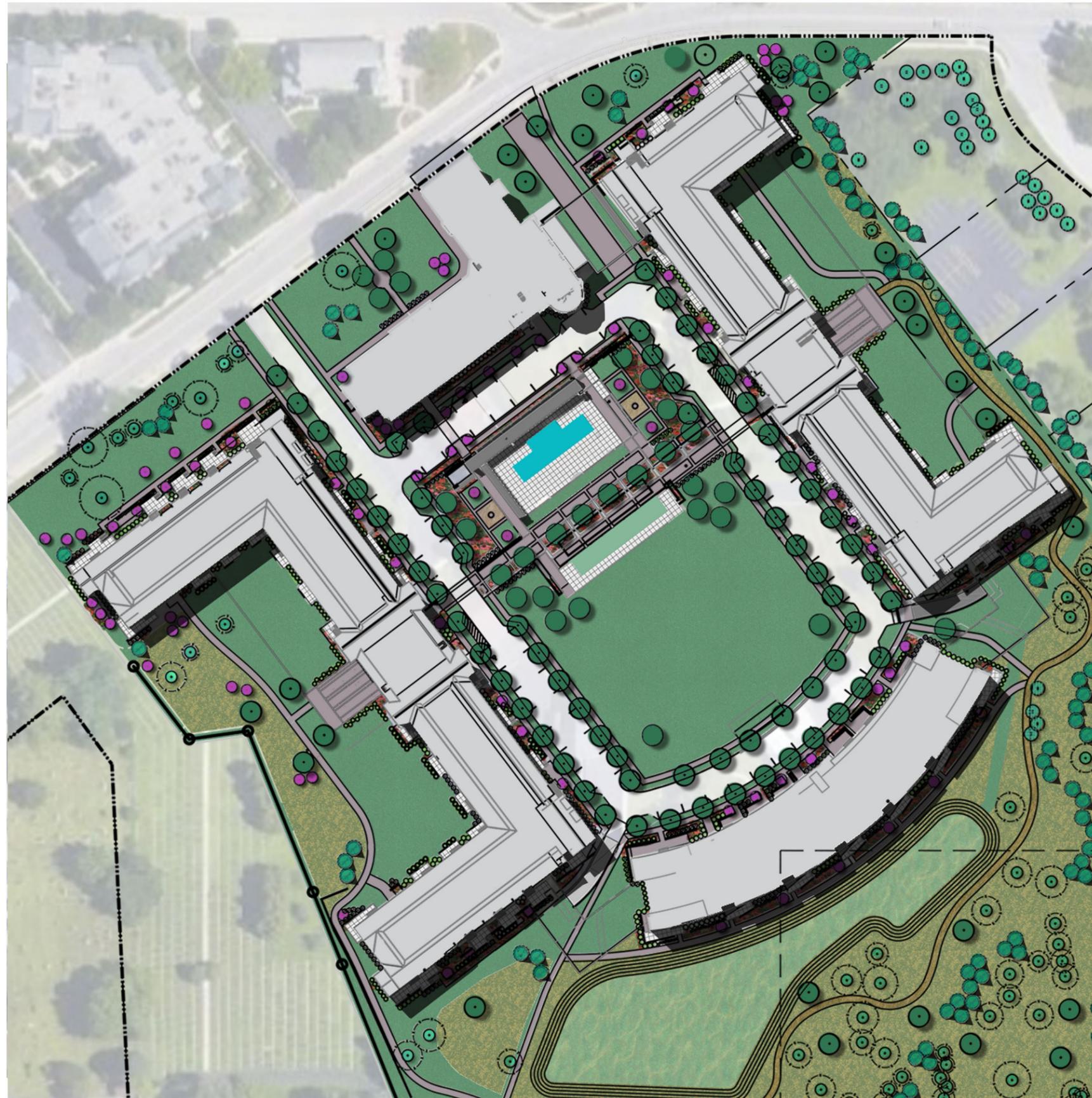
Exhibit G – Landscaping Plans



LEGEND

- PROPERTY BOUNDARY
- COMPACTED AGGREGATE PATH
- BOARDWALK
- EXISTING TREES TO REMAIN
- TREE ROOT PROTECTION ZONE
- MESIC PRAIRIE SEED
- WET-MESIC PRAIRIE SEED
- TURF SEED
- ORNAMENTAL PLANTING BED
- SHRUBS - SMALL
- SHRUBS - MEDIUM
- TREES - CANOPY
- TREES - EVERGREEN
- TREES - ORNAMENTAL

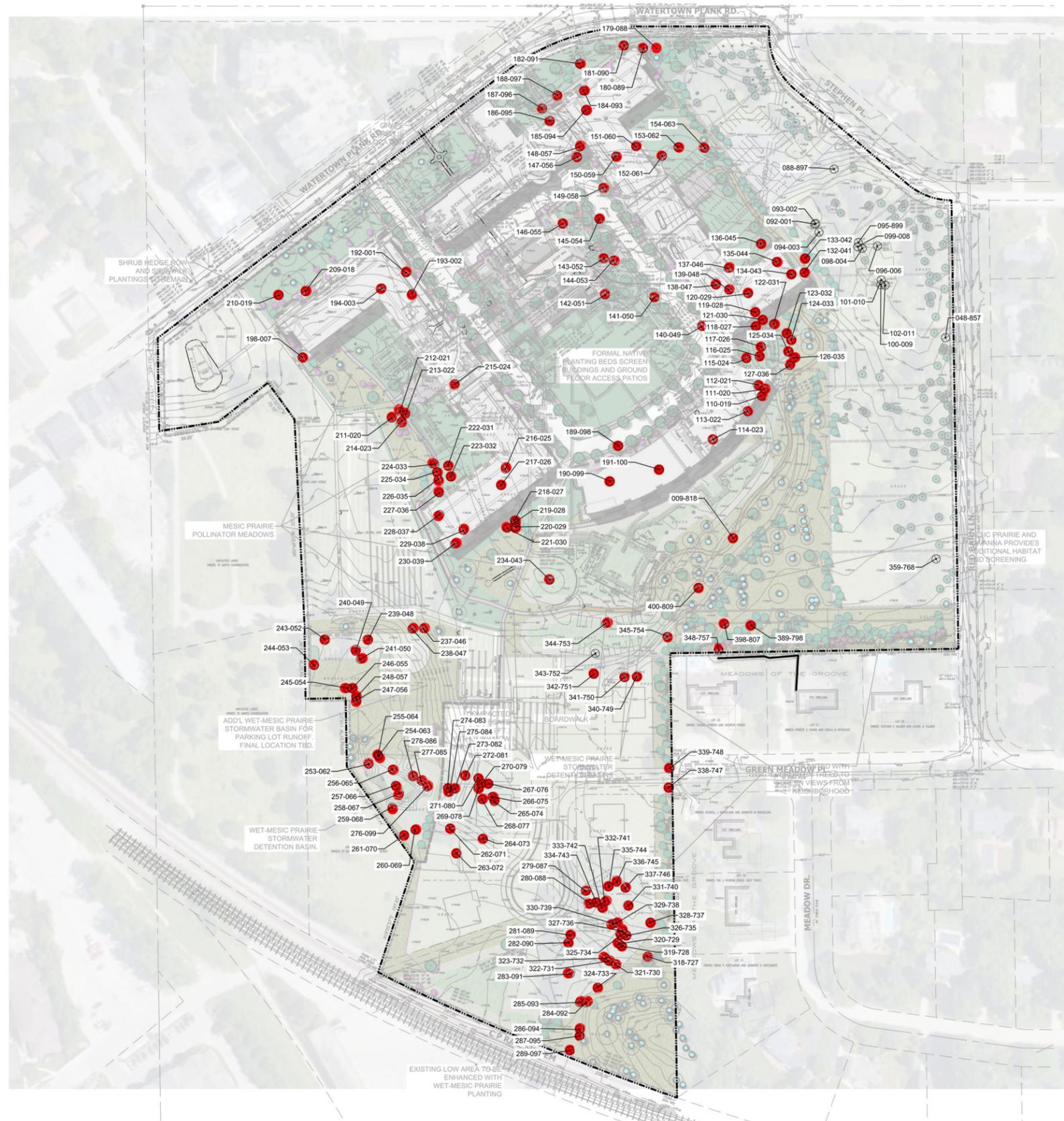




LEGEND

- PROPERTY BOUNDARY
- COMPACTED AGGREGATE PATH
- BOARDWALK
- EXISTING TREES TO REMAIN
- TREE ROOT PROTECTION ZONE
- MESIC PRAIRIE SEED
- WET-MESIC PRAIRIE SEED
- TURF SEED
- ORNAMENTAL PLANTING BED
- SHRUBS - SMALL
- SHRUBS - MEDIUM
- TREES - CANOPY
- TREES - EVERGREEN
- TREES - ORNAMENTAL



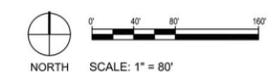


NOTES

1. UNDERLYING SURVEY BY CHAPUT LAND SURVEYORS.
2. REFER TO THE ACCOMPANYING TREE PRESERVATION SCHEDULE FOR A MORE DETAILED DESCRIPTION OF EACH INDIVIDUAL TREE.
3. EACH INDIVIDUAL TREE ON THE MAPS AND SCHEDULE CONTAINS A 6-DIGIT NUMBER CONSISTING OF AN ID# AND A TREE TAG #. ID NUMBER IS INCLUDED BECAUSE SOME TREE TAGS NUMBERS WERE INADVERTENTLY UTILIZED IN THE TREE SURVEY.
4. TREES IN THE SINGLE-FAMILY RESIDENTIAL AREA ON THE EAST OF THE PROPERTY ARE RECOMMENDED FOR SAVING OR ANTICIPATED FOR REMOVAL. THE ULTIMATE DECISION ON TREE PRESERVATION WILL BE UP TO THE DEVELOPER OF THESE LOTS AND THE NEW HOME BUYERS.

LEGEND

- 123-456 — EXISTING TREE (ID#-TAG#)
- TREES TO REMAIN
- TREE ROOT PROTECTION ZONE
- TREES TO REMOVE
- ⊗ TREES RECOMMEND TO SAVE
- ⚡ LOW-QUALITY TREES, IDENTIFIED FOR POTENTIAL REMOVAL
- PROPERTY BOUNDARY





LEGEND

- PROPERTY BOUNDARY
- COMPACTED AGGREGATE PATH
- BOARDWALK
- EXISTING TREES TO REMAIN
- TREE ROOT PROTECTION ZONE
- MESIC PRAIRIE SEED
- WET-MESIC PRAIRIE SEED
- TURF SEED
- ORNAMENTAL PLANTING BED
- SHRUBS - SMALL
- SHRUBS - MEDIUM
- TREES - CANOPY
- TREES - EVERGREEN
- TREES - ORNAMENTAL





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School Sisters of Notre Dame

Village of Elm Grove, Wisconsin

Mandel Group
 330 East Kildrum Avenue
 Suite 600 South
 Milwaukee, WI 53202

AES Proj. #:	17-0908
Designed By:	WCC
Drawn By:	WCC
Checked By:	RR
Coordinate System:	NAD 83, WI SP South, US Foot
File:	17-0908 SSND LSCAPE.dwg

REVISIONS		
Date	Description	Revision
12/18/2020	Village of Elm Grove Development Submittal	NA
04/30/2021	Revised Site Plan	NA

STAMPED

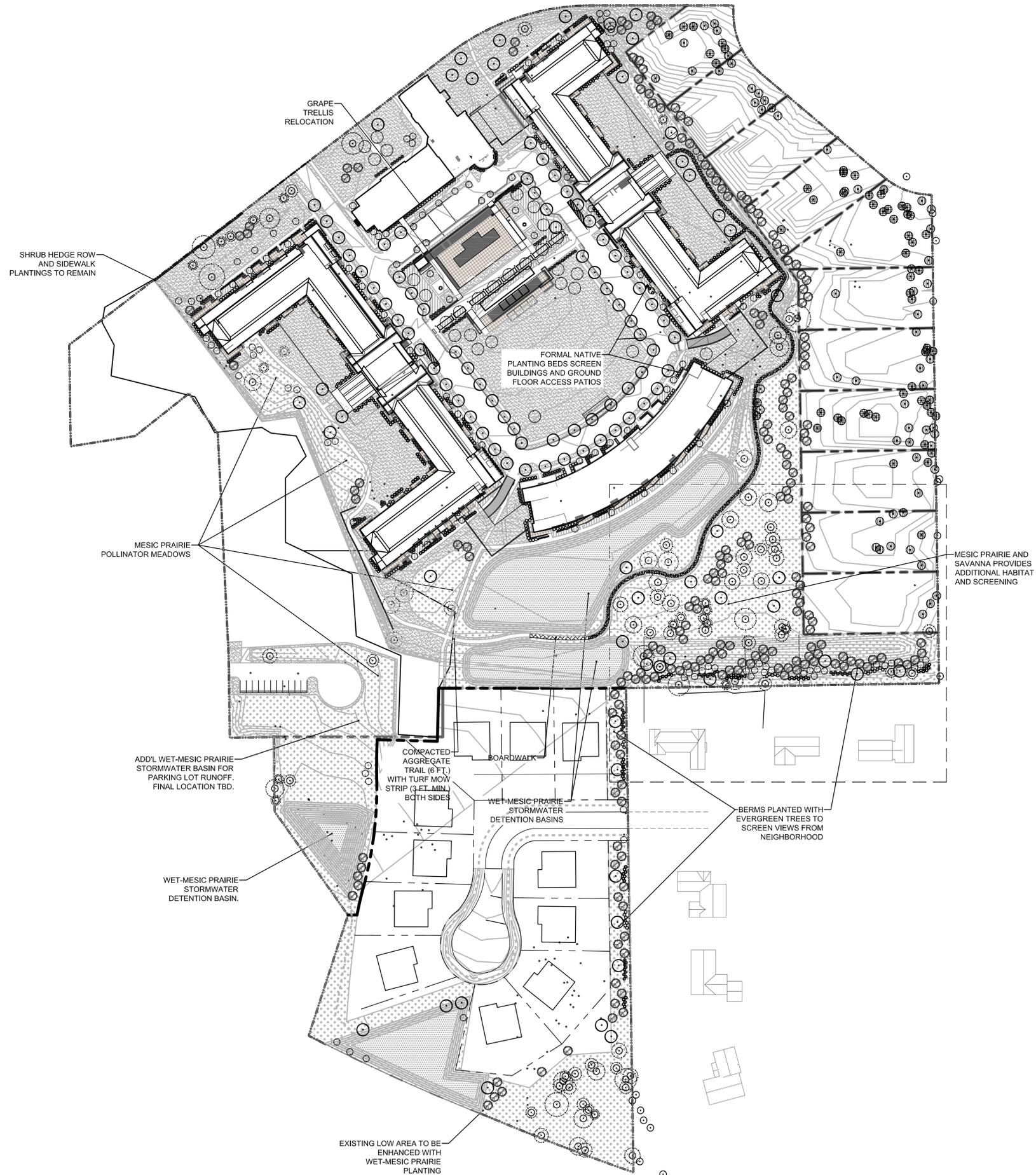
DATED: April 30, 2021

SHEET TITLE

Overall Landscape Plan

SHEET NUMBER

L-1



EXISTING LANDSCAPE NOTES

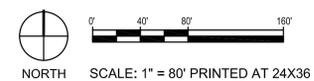
1. THE LOCATION FOR EXISTING TREES WITHIN THE BUILDING 1-3 FOOTPRINT IS PROVIDED IN THE SURVEY BY CHAPUT LAND SURVEYORS DATED APRIL 15, 2020. ADDITIONAL TREE LOCATIONS PROVIDED BY AES VIA GPS LOCATION DURING TREE SURVEY.
2. REFER TO THE TREE PRESERVATION PLANS AND SCHEDULE FOR A DESCRIPTION OF EACH EXISTING TREE AND IT WHETHER IT WILL REMAIN OR BE REMOVED AS PART OF CONSTRUCTION.
3. ONE HEDGE ROW OF SHRUBS EAST OF THE NORTHERN END OF THE CEMETERY WILL REMAIN, AS WILL AN ADJACENT BORDER OF GROUND COVER ALONG THE SIDEWALK ADJACENT TO WATERTOWN PLANK ROAD.
4. THE GRAPE VINES LOCATED IN A LONG TRELLIS BETWEEN THE MAIN ENTRY DRIVEWAY AND THE CEMETERY WILL BE PRESERVED AND RELOCATED TO A LONG TRELLIS NORTH OF THE POOL AREA IN THE COURTYARD OF THE NEW DEVELOPMENT.
5. ALL OTHER EXISTING PLANT MATERIAL NOT SPECIFICALLY MENTIONED ABOVE WILL BE REMOVED DURING CONSTRUCTION.

PROPOSED LANDSCAPE NOTES

1. REFER TO THE TREE PRESERVATION PLANS AND SCHEDULE FOR A MORE DETAILED DESCRIPTION OF EACH EXISTING TREE TO REMAIN ON SITE. TREES TO REMAIN ARE SHOWN ON THE LANDSCAPE PLANS FOR REFERENCE.
2. THE LANDSCAPE PLANS PROVIDED PERTAIN THE CAMPUS REDEVELOPMENT FOR APARTMENT BUILDINGS, STORMWATER MANAGEMENT FACILITIES, AND SURROUNDING LANDSCAPES. BEYOND STORMWATER MANAGEMENT AND CONNECTED NATURALIZED LANDSCAPE FEATURES.
3. LANDSCAPE PLANS SHOW THE LOCATION AND SPECIES FOR PLANTS TO BE INSTALLED. MINOR ADJUSTMENTS TO THE FINAL LOCATIONS MAY BE MADE AS NECESSARY TO ADJUST TO THE SITE AS CONSTRUCTED.
4. THE RESTORED, NATURALIZED, AND FORMAL LANDSCAPES CONSIST OF A SUITE OF NATIVE SPECIES APPROPRIATE FOR LOCATION, SOIL TYPE AND MOISTURE, STORMWATER MANAGEMENT FUNCTION, AND AESTHETIC CONSIDERATIONS.
5. SUBSTITUTIONS OF INDIVIDUAL PLANTS MAY BE MADE DEPENDING UPON AVAILABILITY. HOWEVER, ALL SUBSTITUTED PLANT SPECIES WILL BE EITHER FROM THE LISTS OF SPECIES USED IN OTHER ZONES ON THE LANDSCAPE PLANS, OR FROM THE LIST OF ALTERNATIVES PROVIDED WITH THESE PLANS.
6. NO LANDSCAPE PLAN HAS BEEN PROVIDED FOR THE SINGLE-FAMILY RESIDENTIAL AREA ON THE EAST OF THE PROPERTY OTHER THAN RECOMMENDATIONS FOR TREE PRESERVATION. NO LANDSCAPE PLANS ARE SHOWN FOR THE POCKET NEIGHBORHOOD DEVELOPMENT EITHER. THE ULTIMATE DECISION ON LANDSCAPING AND TREE PRESERVATION WILL BE UP TO THE DEVELOPER OF THESE LOTS AND THE NEW HOME BUYERS.

LEGEND

- PROPERTY BOUNDARY
- COMPACTED AGGREGATE PATH
- ▨ BOARDWALK
- EXISTING TREES TO REMAIN
- TREE ROOT PROTECTION ZONE
- MESIC PRAIRIE SEED
- WET-MESIC PRAIRIE SEED
- TURF SEED
- ORNAMENTAL PLANTING BED
- SHRUBS - SMALL
- SHRUBS - MEDIUM
- TREES - CANOPY
- TREES - EVERGREEN
- TREES - ORNAMENTAL



NOT FOR CONSTRUCTION



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04/30/2021	Revised Site Plan	NA

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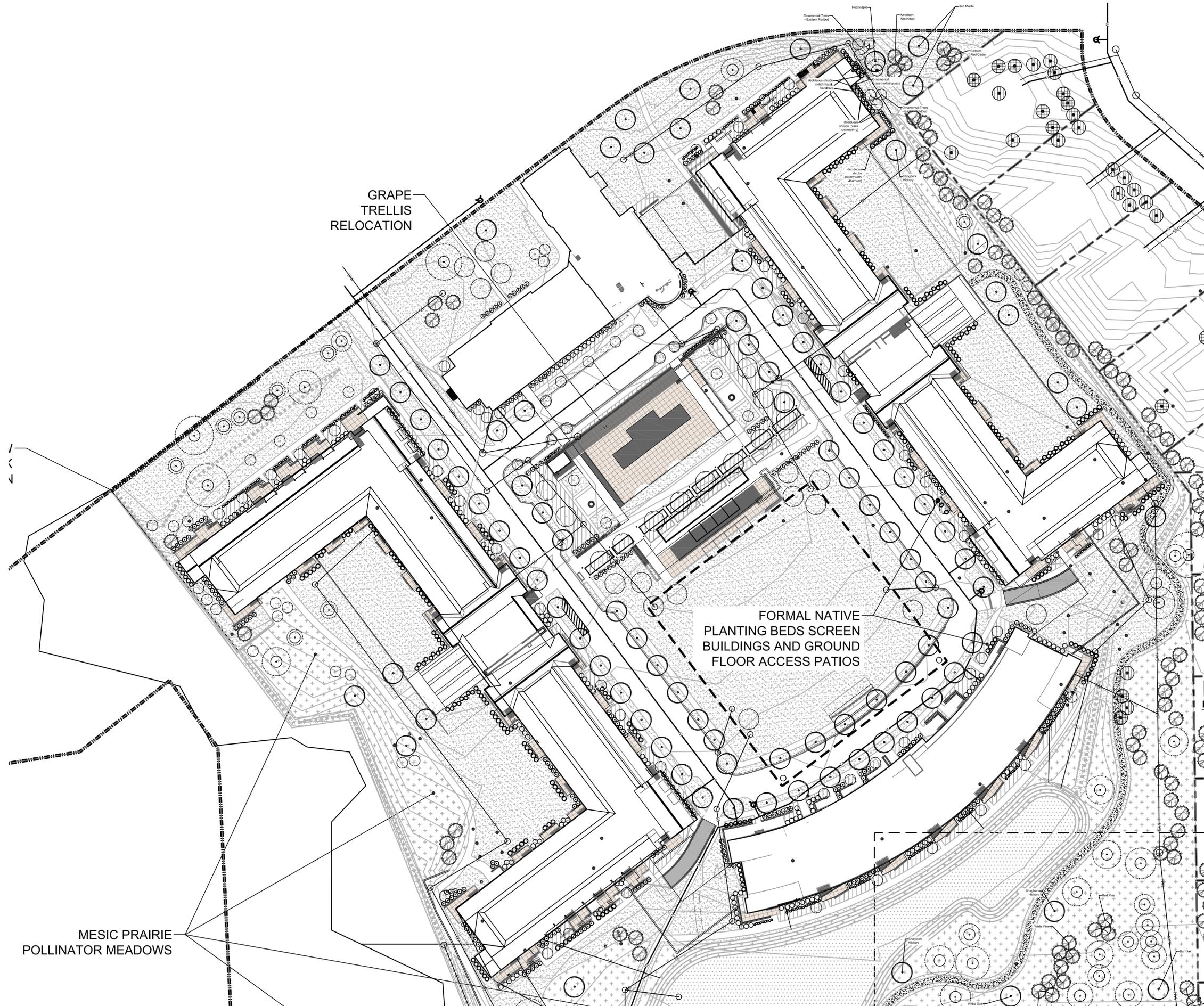
DATED: April 30, 2021

SHEET TITLE

Detail
 Landscape
 Plan

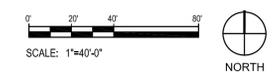
SHEET NUMBER

L-2



LEGEND

- PROPERTY BOUNDARY
- ▨ COMPACTED AGGREGATE PATH
- ▩ BOARDWALK
- EXISTING TREES TO REMAIN
- TREE ROOT PROTECTION ZONE
- ▨ MESIC PRAIRIE SEED
- ▨ WET-MESIC PRAIRIE SEED
- ▨ TURF SEED
- ▨ ORNAMENTAL PLANTING BED
- SHRUBS - SMALL
- SHRUBS - MEDIUM
- TREES - CANOPY
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DATED: April 30, 2021

SHEET TITLE

Detail
 Landscape
 Plan

SHEET NUMBER

L-3

ADD'L WET-MESIC PRAIRIE
 STORMWATER BASIN FOR
 PARKING LOT RUNOFF.
 FINAL LOCATION TBD.

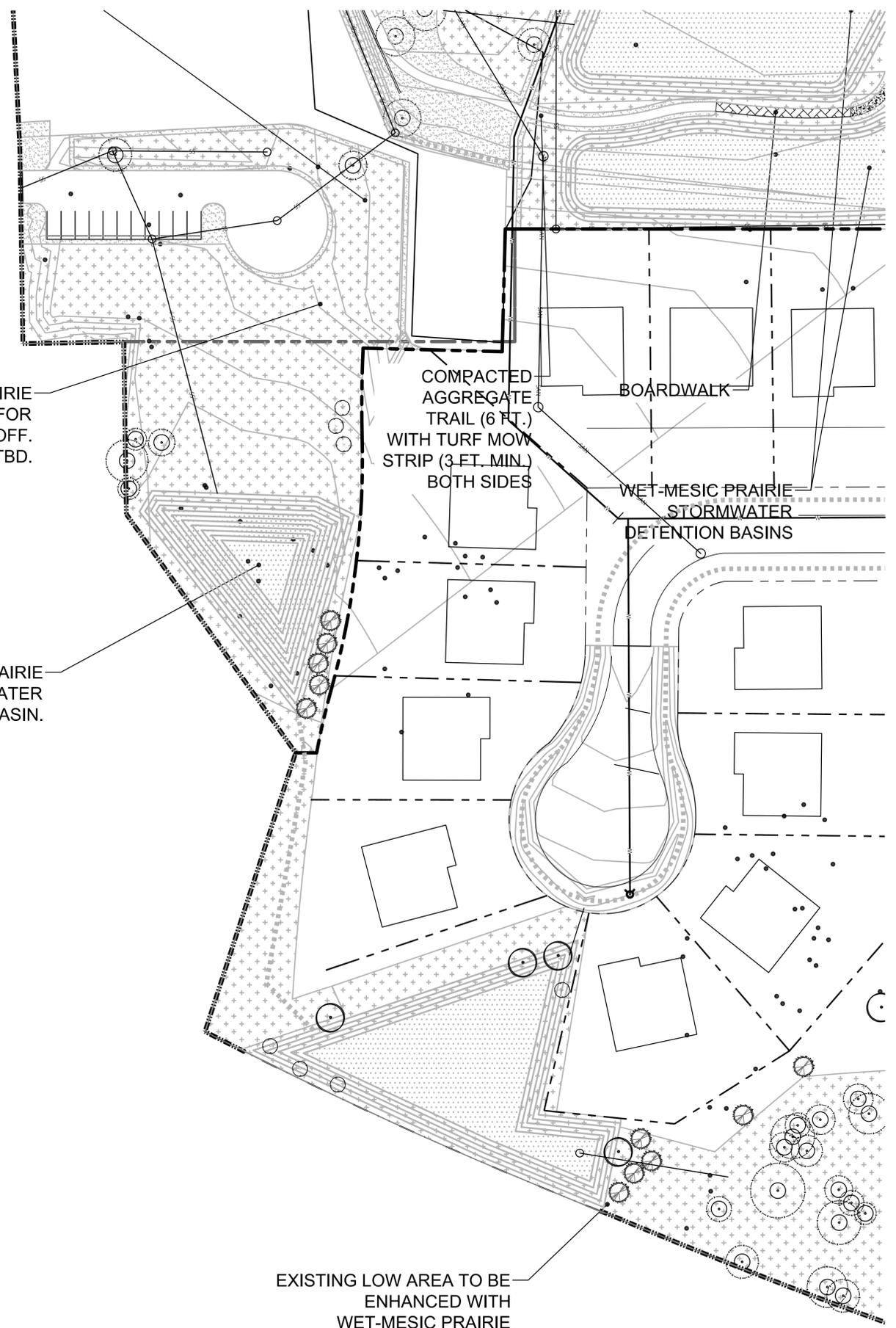
WET-MESIC PRAIRIE
 STORMWATER
 DETENTION BASIN.

EXISTING LOW AREA TO BE
 ENHANCED WITH
 WET-MESIC PRAIRIE
 PLANTING

COMPACTED
 AGGREGATE
 TRAIL (6 FT.)
 WITH TURF MOW
 STRIP (3 FT. MIN.)
 BOTH SIDES

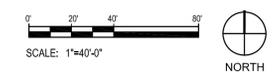
BOARDWALK

WET-MESIC PRAIRIE
 STORMWATER
 DETENTION BASINS



LEGEND

- PROPERTY BOUNDARY
- COMPACTED AGGREGATE PATH
- ▨ BOARDWALK
- EXISTING TREES TO REMAIN
- TREE ROOT PROTECTION ZONE
- MESIC PRAIRIE SEED
- WET-MESIC PRAIRIE SEED
- TURF SEED
- ORNAMENTAL PLANTING BED
- SHRUBS - SMALL
- SHRUBS - MEDIUM
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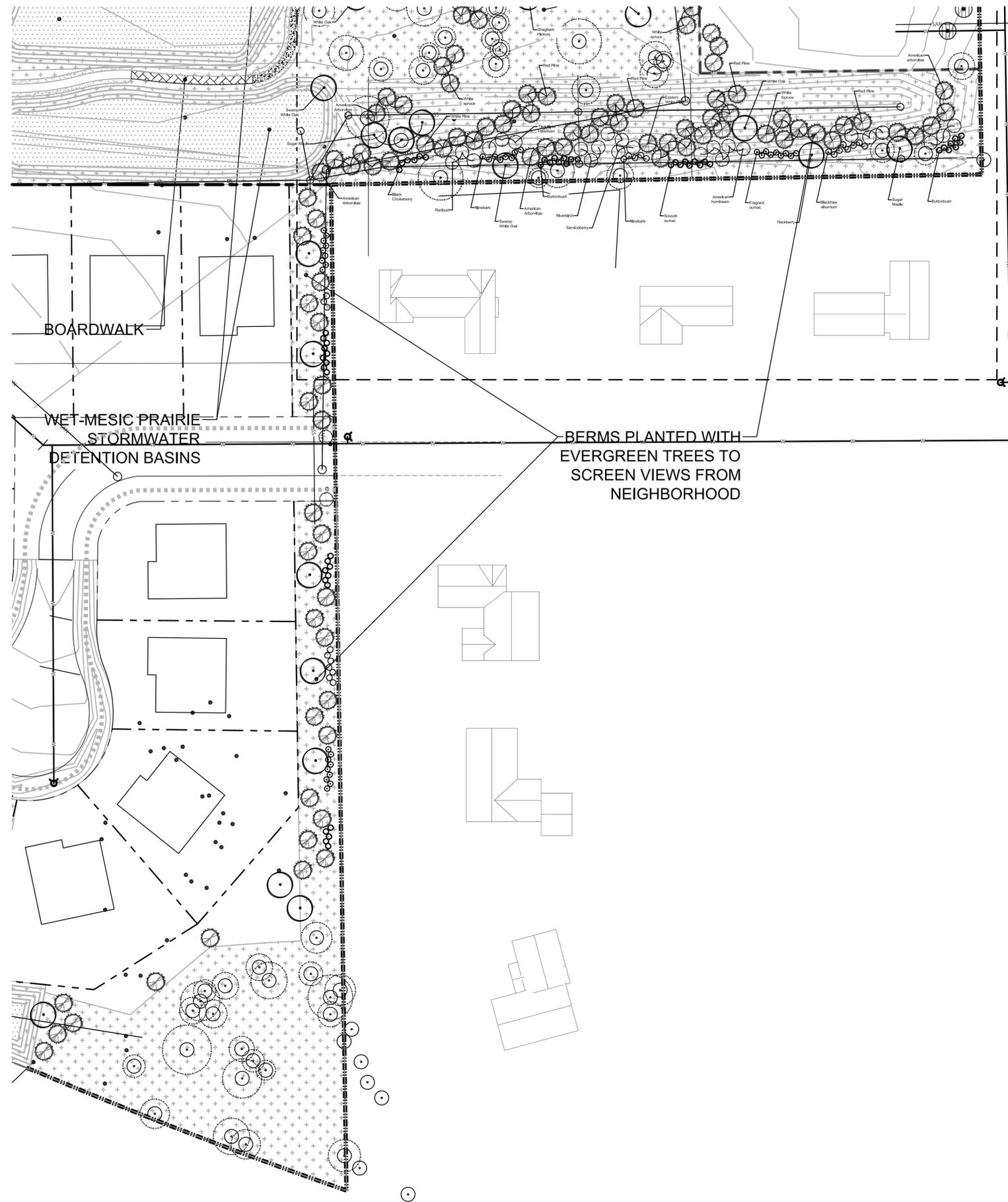
DATED: April 30, 2021

SHEET TITLE

Detail Landscape Plan

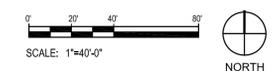
SHEET NUMBER

L-4



LEGEND

- PROPERTY BOUNDARY
- COMPACTED AGGREGATE PATH
- ▨ BOARDWALK
- EXISTING TREES TO REMAIN
- TREE ROOT PROTECTION ZONE
- ▨ MESIC PRAIRIE SEED
- ▨ WET-MESIC PRAIRIE SEED
- ▨ TURF SEED
- ▨ ORNAMENTAL PLANTING BED
- SHRUBS - SMALL
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REVISIONS		
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04/30/2021	Revised Site Plan	N/A

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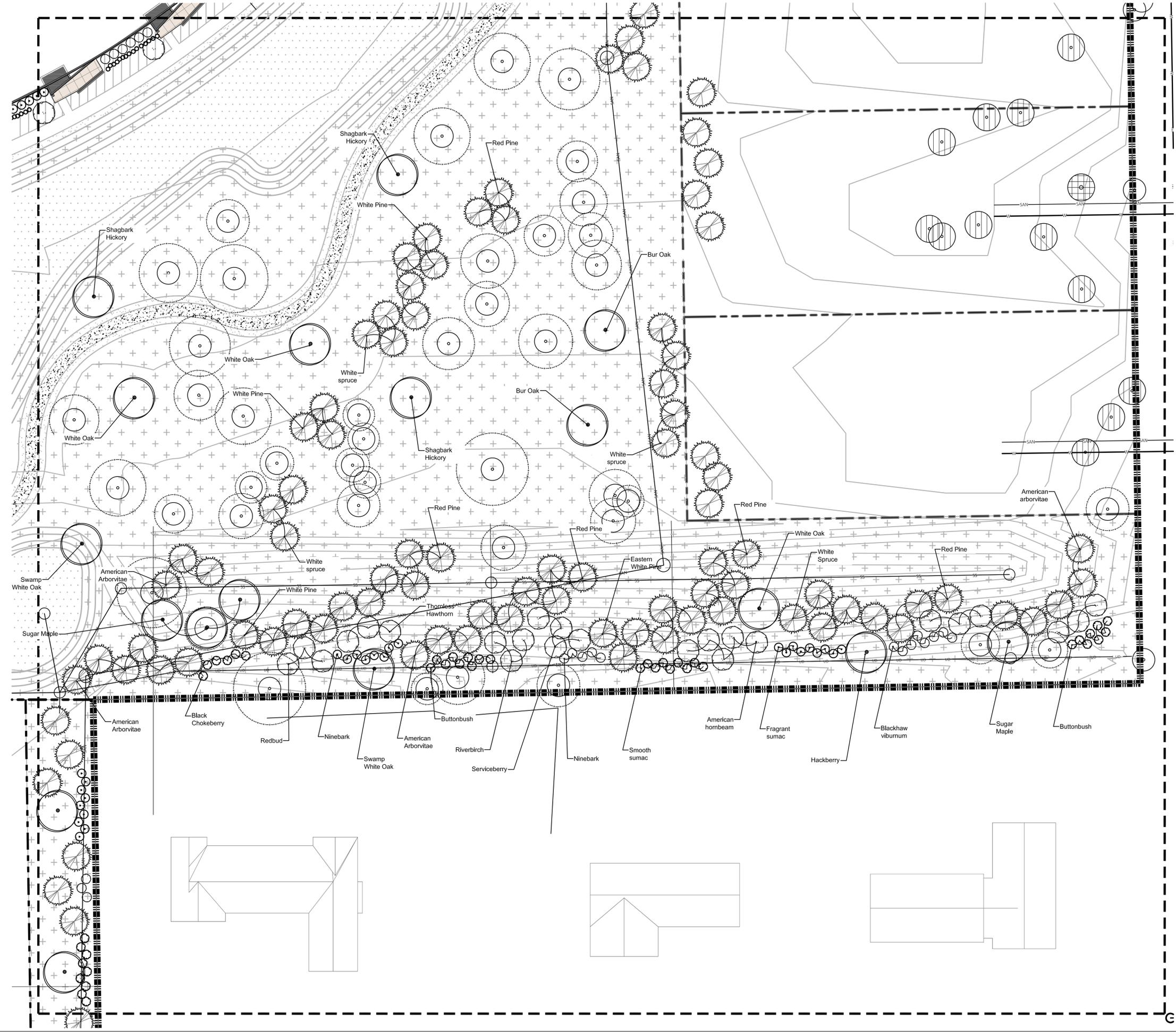
DATED: April 30, 2021

SHEET TITLE

Detail Landscape Plan

SHEET NUMBER

L-5



LEGEND

- PROPERTY BOUNDARY
- ▨ COMPACTED AGGREGATE PATH
- ▩ BOARDWALK
- EXISTING TREES TO REMAIN
- TREE ROOT PROTECTION ZONE
- ▨ MESIC PRAIRIE SEED
- ▨ WET-MESIC PRAIRIE SEED
- ▨ TURF SEED
- ▨ ORNAMENTAL PLANTING BED
- SHRUBS - SMALL
- SHRUBS - MEDIUM
- TREES - CANOPY
- TREES - EVERGREEN
- TREES - ORNAMENTAL



NOT FOR CONSTRUCTION

WET-MESIC PRAIRIE SEED MIX (1.2 AC)



Scientific name	Common Name
Grasses and Sedges:	
<i>Andropogon gerardii</i>	Big bluestem
<i>Bromus ciliatus</i>	Fringed brome
<i>Calamagrostis canadensis</i>	Blue joint grass
<i>Carex comosa</i>	Bristly sedge
<i>Carex scoparia</i>	Pointed broom sedge
<i>Carex vulpinoidea</i>	Brown fox sedge
<i>Carex stipata</i>	Common fox sedge
<i>Elymus canadensis</i>	Canada wild rye
<i>Elymus virginicus</i>	Virginia wild rye
<i>Eleocharis obtusa</i>	Blunt spike rush
<i>Eleocharis erythropoda</i>	Red rooted spike rush
<i>Glyceria striata</i>	Fowl mana grass
<i>Juncus dudleyi</i>	Dudley's rush
<i>Juncus effusus</i>	Common Rush
<i>Juncus torreyi</i>	Torrey's rush
<i>Leersia oryzoides</i>	Rice cut grass
<i>Panicum virgatum</i>	Switch grass
<i>Scirpus atrovirens</i>	Dark green rush
<i>Scirpus cyperinus</i>	Wool grass
<i>Spartina pectinata</i>	Prairie cord grass
Forbs:	
<i>Alisma subcordatum</i>	Water plantain
<i>Asclepias incarnata</i>	Swamp milkweed
<i>Bidens cernua</i>	Swamp bur marigold
<i>Boltonia asteroides</i>	False aster
<i>Cacalia plantaginea</i>	Prairie Indian Plantain
<i>Coreopsis tripteris</i>	Tall coreopsis
<i>Eryngium yuccifolium</i>	Rattlesnake master
<i>Euthamia graminifolia</i>	Grass-leaved goldenrod
<i>Eutrochium maculatum</i>	Spotted Joe-Pye weed
<i>Eupatorium perfoliatum</i>	Common boneset
<i>Helenium autumnale</i>	Sneezeweed
<i>Liatis spicata</i>	Marsh blazing star
<i>Lobelia cardinalis</i>	Cardinal flower
<i>Lobelia siphilitica</i>	Great blue lobelia
<i>Lycopus americanus</i>	Water horehound
<i>Lythrum alatum</i>	Winged loosestrife
<i>Mimulus ringens</i>	Monkey flower
<i>Mentha arvensis</i>	Wild mint
<i>Monarda fistulosa</i>	Wild bergamot
<i>Oligoneuron riddellii</i>	Riddell's goldenrod
<i>Penstemon digitalis</i>	Foxglove beard tongue
<i>Penthorum sedoides</i>	Ditch stonecrop
<i>Physostegia virginiana</i>	False dragonhead
<i>Pycnanthemum virginianum</i>	Common mountain mint
<i>Ratibida pinnata</i>	Yellow coneflower
<i>Rudbeckia hirta</i>	Black-eyed Susan
<i>Rudbeckia subtomentosa</i>	Sweet black-eyed Susan
<i>Senna hebecarpa</i>	Wild senna
<i>Symphotrichum lanceolatum</i>	Panicled aster
<i>Symphotrichum novae-angliae</i>	New England aster
<i>Teucrium canadense</i>	Germander
<i>Verbena hastata</i>	Blue vervain
<i>Veronia fasciculata</i>	Common ironweed
<i>Veronicastrum virginiana</i>	Culver's root
<i>Zizia aurea</i>	Golden Alexanders

MESIC PRAIRIE SEED MIX (5.9 AC)



Scientific name	Common Name
Grasses & Sedges:	
<i>Bouteloua curtipendula</i>	Side oats grama
<i>Carex bicknellii</i>	Copper shouldered sedge
<i>Panicum virgatum</i>	Switch grass
<i>Schizachyrium scoparium</i>	Little bluestem
Total Grasses	
Forbs:	
<i>Asclepias incarnata</i>	Swamp milkweed
<i>Asclepias tuberosa</i>	Butterfly weed
<i>Coreopsis palmata</i>	Stiff coreopsis
<i>Echinacea pallida</i>	Pale purple coneflower
<i>Eryngium yuccifolium</i>	Rattlesnake master
<i>Liatis pycnostachya</i>	Prairie blazing star
<i>Lobelia cardinalis</i>	Cardinal flower
<i>Monarda fistulosa</i>	Wild bergamot
<i>Oligoneuron riddellii</i>	Riddell's goldenrod
<i>Penstemon digitalis</i>	Foxglove beard tongue
<i>Petalostemum purpurea</i>	Purple prairie clover
<i>Rudbeckia hirta</i>	Black-eyed Susan
<i>Ratibida pinnata</i>	Yellow coneflower
<i>Rudbeckia subtomentosa</i>	Sweet black-eyed Susan
<i>Symphotrichum novae-angliae</i>	New England aster
<i>Tradescantia ohiensis</i>	Spiderwort
Total Forbs	
Total All Species	
Temporary Cover Crop:	
<i>Elymus canadensis</i>	Canada wild rye
<i>Avena sativa</i>	Common oats

LAWN BLEND (4.9 AC)



Scientific name	Common Name
Grasses:	
<i>Festuca rubra commutata</i>	Chewings Fescue
<i>Festuca rubra</i>	Creeping Red Fescue
<i>Festuca ovina</i>	Hard Fescue
<i>Festuca glauca</i>	Blue Fescue

Symbol	QTY	SYM	Scientific Name	Common Name	Approx. Mature Size (in feet)			
					Height	Spread		
	147		CANOPY TREES					
		ACS	<i>Acer saccharum</i>	Sugar Maple	40-80	30-60		
		CAO	<i>Carya ovata</i>	Shagbark Hickory	70-90	50-70		
		QAL	<i>Quercus alba</i>	White Oak	50-80	50-80		
		QBI	<i>Quercus bicolor</i>	Swamp White Oak	50-60	50-60		
		QMA	<i>Quercus macrocarpa</i>	Bur Oak	60-80	60-80		
		QRU	<i>Quercus rubra</i>	Red Oak	50-75	50-75		
		ACR	<i>Acer rubrum</i>	Red Maple	40-70	30-50		
		CEO	<i>Celtis occidentalis</i>	Common Hackberry	40-60	40-60		
		GYD	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	60-80	40-55		
		PLO	<i>Platanus occidentalis</i>	American Sycamore	75-100	75-100		
		TXD	<i>Taxodium distichum</i>	Baldcypress	50-70	20-45		
TIL	<i>Tilia americana</i>	American Linden	50-80	30-50				
	125		ORNAMENTAL TREES		Height	Spread		
		BEN	<i>Betula nigra</i>	River Birch	40-70	40-60		
		BEP	<i>Betula papyrifera</i>	Paper Birch	50-70	25-50		
		AML	<i>Amelanchier laevis</i>	Allegheny Serviceberry	15-40	15-40		
		CRC	<i>Carpinus caroliniana</i>	American Hornbeam	20-35	20-35		
		CEC	<i>Cercis canadensis</i>	Eastern Redbud	20-30	25-35		
		COA	<i>Cornus alternifolia</i>	Pagoda Dogwood	15-25	20-35		
		CCG	<i>Crataegus crus-galli</i>	Thornless Cockspur Hawthorn	25-35	25-35		
		CTP	<i>Crataegus punctata</i>	Dotted Hawthorn	20-30	20-40		
		OYV	<i>Ostrya virginiana</i>	Hophornbeam	25-40	20-30		
			200		EVERGREEN TREES		Height	Spread
				PCG	<i>Picea glauca</i>	White Spruce	40-60	10-20
PIR	<i>Pinus resinosa</i>			Red Pine	50-80	20-25		
PIN	<i>Pinus strobus</i>			Eastern White Pine	50-80	20-40		
THO	<i>Thuja occidentalis</i>			American Arborvitae	40-60	10-15		
JUV	<i>Juniperus virginiana</i>			Eastern Red Cedar	30-65	8-25		
PGD	<i>Picea glauca</i> 'Densata'			Black Hills Spruce	20-40	10-15		
THF	<i>Thuja occidentalis</i> 'Fastigiata'			Pyramidal Arborvitae	10-15	3-5		
TOT	<i>Thuja occidentalis</i> 'Techny'			Techny Arborvitae	15-20	5-10		

Symbol	QTY	SYM	Scientific Name	Common Name	Approx. Mature Size (in feet)	
					Height	Spread
	409		DECIDUOUS SHRUBS			
		COR	<i>Cornus racemosa</i>	Gray Dogwood	10-15	10-15
		HMV	<i>Hamamelis virginiana</i>	Common Witchhazel	15-20	15-20
		PHO	<i>Physocarpus opulifolius</i>	Eastern Ninebark	5-10	5-10
		RHG	<i>Rhus glabra</i>	Smooth Sumac	9-15	9-15
		STT	<i>Staphylea trifolia</i>	American Bladdernut	10-15	10-15
		VBL	<i>Viburnum lentago</i>	Nannyberry Viburnum	14-16	6-12
		VBP	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	12-15	6-12
		CPO	<i>Cephalanthus occidentalis</i>	Buttonbush	5-12	4-8
		CYA	<i>Corylus americana</i>	American Hazelnut	10-16	8-13
		IXV	<i>Ilex verticillata</i>	Winterberry	3-12	3-12
		RAS	<i>Rosa setigera</i>	Prairie Rose	6-12	8-10
		SMC	<i>Sambucus canadensis</i>	Elderberry	8-10	8-10
		VBC	<i>Viburnum cassinoides</i>	Witherod Viburnum	5-6	5-6
		AMS	<i>Amelanchier stolonifera</i>	Running Serviceberry	4-5	4-5
		AAM	<i>Aronia melanocarpa</i>	Black Chokeberry	3-6	3-6
		HYK	<i>Hypericum kalmianum</i>	Kalm's St. Johnswort	2-3	2-3
		POF	<i>Potentilla fruticosa</i>	Bush Cinquefoil	2-4	2-4
		RHA	<i>Rhus aromatica</i>	Fragrant Sumac	3-8	6-8
		RGL	<i>Rhus aromatica</i> 'Gro-Low'	Grow Low Sumac	1.5-2	6-8
	135		EVERGREEN SHRUBS		Height	Spread
		JCD	<i>Juniperus communis depressa</i>	Oldfield Common Juniper	3-4	8-10
		JHW	<i>Juniperus horizontalis</i> 'Wisconsin'	Wisconsin Creeping Juniper	0.5-1	5-8
	480		ORNAMENTAL GRASSES		Height	Spread
		BOC	<i>Bouteloua curtipendula</i>	Side oats grama	1.5-2	1.5-2
		CXB	<i>Carex bicknellii</i>	Oval Sedge	1-3	1-3
		DSC	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	2-3	1-2
		PNV	<i>Panicum virgatum</i>	Switchgrass	3-6	2-3
		SZS	<i>Schizachyrium scoparium</i>	Little Bluestem	2-4	1.5-2
		SPH	<i>Sporobolus heterolepis</i>	Prairie Dropseed	2-3	2-3
			15,000		PERENNIALS	
ALC	<i>Allium cernuum</i>			Nodding onion	1-1.5	0.5-1
ANP	<i>Anemone patens</i>			Pasque flower	0.5	0.5-1
AST	<i>Asclepias tuberosa</i>			Butterfly milkweed	2-3	1.5-2
CPP	<i>Coreopsis palmata</i>			Prairie coreopsis	2-3	1.5-2
DAP	<i>Dalea purpurea</i>			Purple prairie clover	2-3	0.5-1
DOM	<i>Dodecatheon meadia</i>			Shooting star	1-1.5	0.5-1
ECP	<i>Echinacea pallida</i>			Pale purple coneflower	2-3	1-1.5
EPU	<i>Echinacea purpurea</i>			Purple coneflower	3-4	1.5-2
ERY	<i>Eryngium yuccifolium</i>			Rattlesnake master	3-4	1.5-2
GEU	<i>Geum triflorum</i>			Prairie smoke	1-1.5	1-1.5
LIP	<i>Liatis pycnostachya</i>			Prairie blazing star	4-6	1.5-2
PED	<i>Penstemon digitalis</i>			Foxglove beardtongue	1.5-2	1.5-2
PXP	<i>Phlox pilosa</i>			Downy prairie phlox	1.5-2	0.5-1
RUH	<i>Ruellia humilis</i>			Wild petunia	1-1.5	1.5-2
SYO	<i>Symphotrichum oolentangiense</i>	Sky blue aster	2-3	1-2		

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School Sisters of Notre Dame
 Village of Elm Grove, Wisconsin

Mandel Group
 330 East Kilbourn Avenue
 Suite 800 South
 Milwaukee, WI 53202

AES Proj. #: 17-0908

Designed By: WCC

Drawn By: WCC

Checked By: RR

Coordinate System: NAD 83, WI SP South, US Foot

File: 17-0908 SSND TREE SHRUB PLNT.dwg

REVISIONS		
Date	Description	Revision
12/18/2020	Village of Elm Grove Development Submittal	NA
04/30/2021	Revised Site Plan	NA

STAMPED

DATED: April 30, 2021

SHEET TITLE

Landscape Planting Schedules

SHEET NUMBER

L-2

Exhibit H – Civil Engineering Plans

GENERAL NOTES

1. SITE LOCATION: 13105 WATERTOWN PLANK ROAD ELM GROVE, WISCONSIN 53122. SEE PLAT OF SURVEY FOR EASEMENT/RESTRICTIONS. REFER TO PLAT OF SURVEY BY CHAPUT LAND SURVEYS, DATED 11/09/2020 FOR INFORMATION ON COORDINATES AND SURVEY CONTROL.
2. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITIES, AND CHAPUT LAND SURVEYS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. FILL AND SEAL POTABLE WELLS WHEN MUNICIPAL WATER IS CONNECTED TO SITE BUILDINGS OR WHEN WELLS CONFLICT WITH CONSTRUCTION ACTIVITIES. POTABLE WELL FILLING AND SEALING SHALL BE PERFORMED IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 812.26 AND IN ACCORDANCE WITH VILLAGE CODE 283. SUBMIT FILING AND SEALING FORMS TO WDNR AND OWNER'S REPRESENTATIVE UPON CONCLUSION OF FILLING AND SEALING

ACTIVITIES. REFER TO DNR WELL RECORDS FOR ADDITIONAL INFORMATION.

4. ANY WORK OUTSIDE OF PROPERTY LINE AND IN RIGHT OF WAY SHALL CONFORM TO THE VILLAGE OF ELM GROVE STANDARD SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.
5. AREAS LISTED REPRESENT BUILDING FOOTPRINT.
6. CONNECTING TUNNEL AREAS AND OUTLINES ARE APPROXIMATE.

LEGEND

-  EXISTING STRUCTURE TO BE RAZED
-  EXISTING BELOW GROUND STRUCTURE TO BE RAZED
-  REMOVE EXISTING ASPHALTIC PAVMENT
-  REMOVE EXISTING CONCRETE PAVEMENT/SLAB/SIDEWALK/STEP CURB AND GUTTER
-  REMOVE EXISTING BRICK
-  REMOVE STRUCTURE
-  EXISTING PROPERTY BOUNDARY
-  PROJECT LIMITS

XXXX XXXX . SAWCUT PAVEMENT

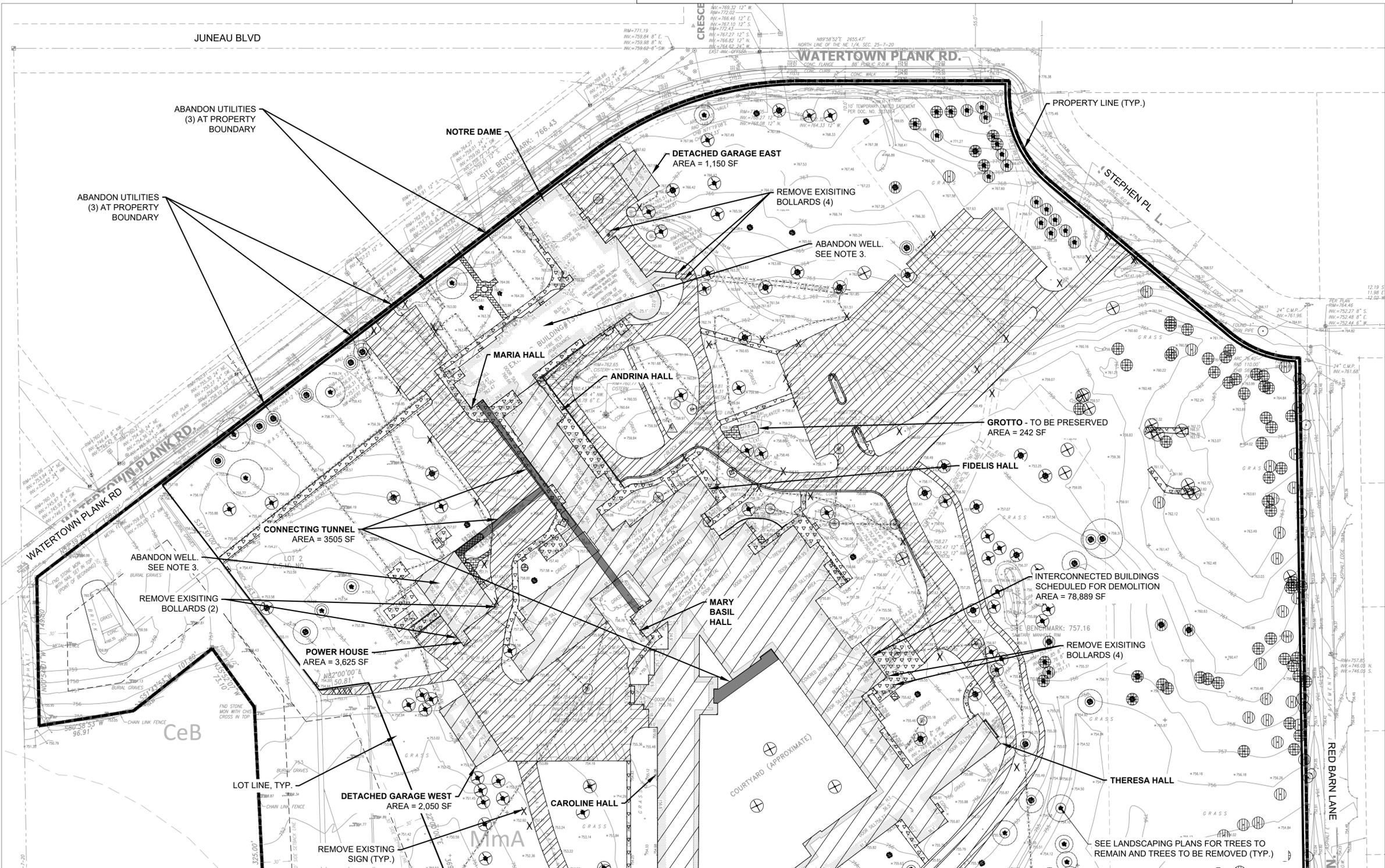
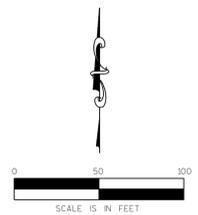
-X-X-X-X-X- REMOVE PIPE/ UTILITY LINE / FENCE OR GATE

-A-A-A-A-A- ABANDON UTILITY LINE

○ REMOVE EXISTING MANHOLE

△ REMOVE EXISTING FIRE HYDRANT

X REMOVE EXISTING SIGN/POLE



CONSULTANT

PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

CLIENT: MANDEL GROUP, INC.

PROJECT LOCATION: 13105 WATERTOWN PLANK RD.
ELM GROVE, WI 53122

REVISIONS	DATE	DESCRIPTION

DRAWN BY: SES/RJT DATE: 07/20/2021
 CHECKED BY: APS DATE: 07/20/2021

SITE TITLE
DEMOLITION PLAN - NORTH

C101

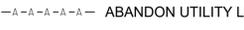
GENERAL NOTES

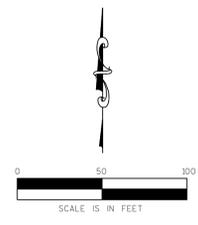
1. SITE LOCATION: 13105 WATERTOWN PLANK ROAD ELM GROVE, WISCONSIN 53122. SEE PLAT OF SURVEY FOR EASEMENT/RESTRICTIONS. REFER TO PLAT OF SURVEY BY CHAPUT LAND SURVEYS, DATED 11/09/2020 FOR INFORMATION ON COORDINATES AND SURVEY CONTROL.
2. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITIES, AND CHAPUT LAND SURVEYS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
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ACTIVITIES. REFER TO DNR WELL RECORDS FOR ADDITIONAL INFORMATION

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5. AREAS LISTED REPRESENT BUILDING FOOTPRINT.
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-  REMOVE STRUCTURE
-  EXISTING PROPERTY BOUNDARY
-  PROJECT LIMITS
-  SAWCUT PAVEMENT
-  REMOVE PIPE/ UTILITY LINE / FENCE OR GATE
-  ABANDON UTILITY LINE
-  REMOVE EXISTING MANHOLE
-  REMOVE EXISTING FIRE HYDRANT
-  REMOVE EXISTING SIGN/POLE



KSingh Engineers
Scientists
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Wauwatosa, WI 53222
262-821-1171

PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

CLIENT: MANDEL GROUP, INC.

PROJECT LOCATION: 13105 WATERTOWN PLANK RD.
ELM GROVE, WI 53122

REVISIONS	DATE	DESCRIPTION

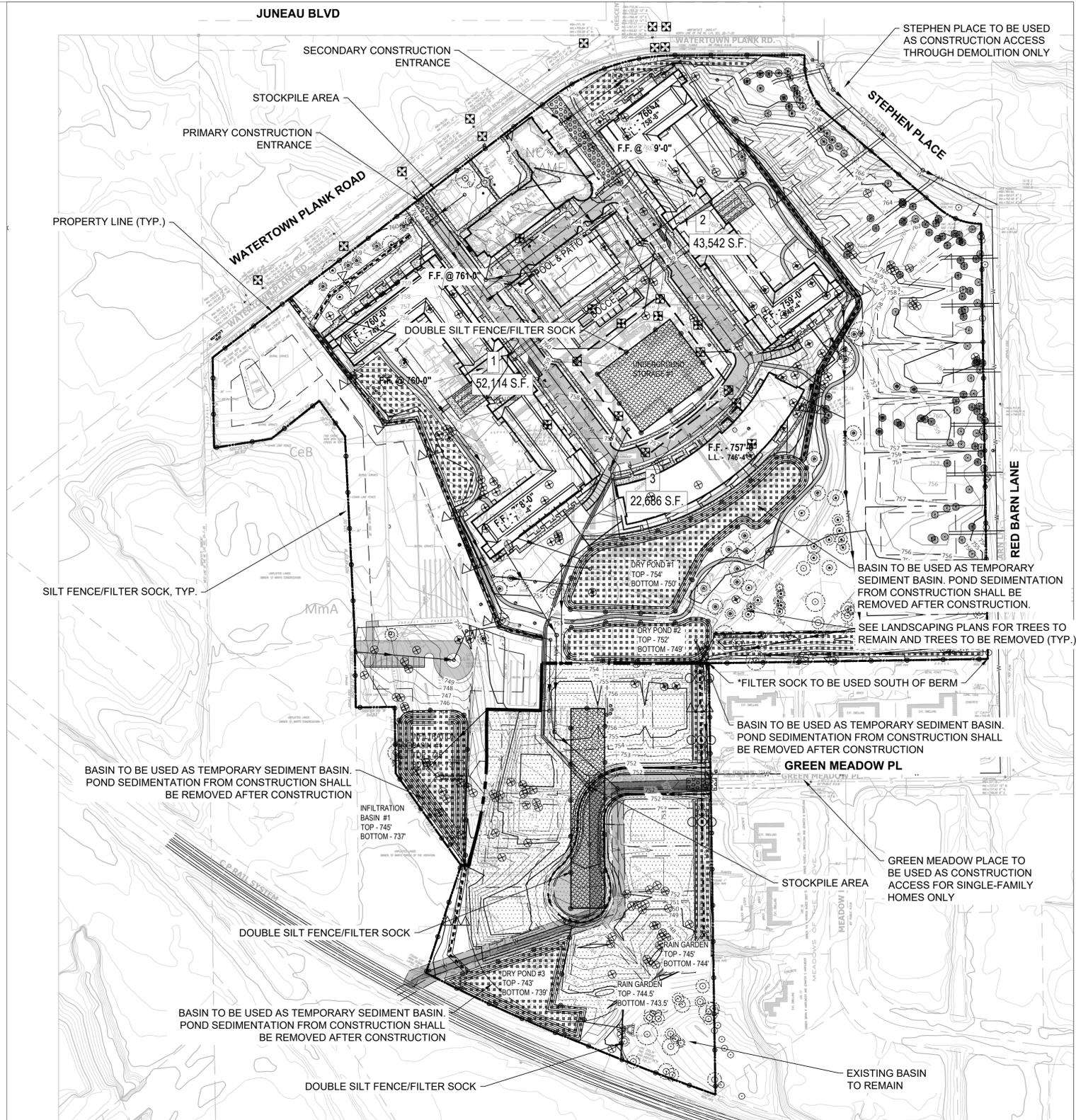
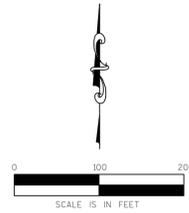
DRAWN BY SES/RJT DATE 07/20/2021
CHECKED BY APS DATE 07/20/2021

SITE TITLE
DEMOLITION PLAN - SOUTH

C102

EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ELM GROVE AND EMPLOY EROSION CONTROL METHODS AS SHOWN IN THE DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS WHICH CAN BE FOUND AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5" OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP AND REMOVAL OF ALL SEDIMENT AND ALL SEDIMENT CONTROL STRUCTURES. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH DAY. ALL RECORDS OF THE INSPECTION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL BE KEPT BY THE OWNER'S REPRESENTATIVE RESPONSIBLE FOR EROSION CONTROL INSPECTIONS.
4. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
5. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES.
6. ALL OFF-SITE SEDIMENT DEPOSITS FROM THIS PROJECT OCCURRING AS RESULT OF A STORM EVENT SHALL BE CLEANED UP BY END OF NEXT WORKING DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY END OF THE WORK DAY.
7. GENERAL CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 - 7.1. INSTALL SILT FENCE.
 - 7.2. INSTALL INLET PROTECTION ON EXISTING STORM INLETS.
 - 7.3. STRIP TOPSOIL, REMOVE AND/OR STOCKPILE.
 - 7.4. PERFORM ROUGH GRADING.
 - 7.5. INSTALL UTILITIES.
 - 7.6. INSTALL INLET PROTECTION.
 - 7.7. CONSTRUCT BUILDINGS.
 - 7.8. INSTALL PAVEMENTS.
 - 7.9. REMOVE ACCUMULATED SEDIMENT FROM SITE.
 - 7.10. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
8. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
9. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15; STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER; STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
10. RESTORATION OF ALL DISTURBED AREAS WITH SLOPES GREATER THAN 20% SHALL BE COMPLETED WITHIN 30 DAYS AFTER BEGINNING CONSTRUCTION ON SAID AREA.
11. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY OF ELM GROVE, OWNER OR ENGINEER. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
12. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD #1068 DUST CONTROL FOR CONSTRUCTION SITES.
13. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL.
14. IF DEWATERING IS NEEDED, CONTRACTOR SHALL PROVIDE FOR SEDIMENT REMOVAL ACCORDING TO WDNR TECHNICAL STANDARD #1061. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS, GRIT CHAMBERS, SAND FILTERS, UPSLOPE CHAMBERS, HYDRO-CYCLONES, SWIRL CONCENTRATORS, OR OTHER APPROPRIATE CONTROLS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. DEWATERING SHALL COMPLY WITH WDNR AND LOCAL STANDARDS.
15. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING, LIMIT PUMPING RATES, OR THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD #1061 DEWATERING.
16. CONTRACTOR SHALL DETERMINE LOCATION OF CONCRETE WASH-OUT AREAS.
17. INLET PROTECTION TYPE A TO BE USED FOR INLETS IN NON-PAVED AREAS (GRASS INLETS). INLET PROTECTION TYPE B TO BE USED FOR INLETS IN PAVED AREAS. INLET PROTECTION TYPE C TO BE USED FOR ALL CURB INLETS. WHILE INLET PROTECTION TYPE D TO BE USED WHERE SHOWN ON THE PLAN. INLET PROTECTIONS SHALL BE WISDOT APPROVED OR AN APPROVED EQUAL.
18. PONDS USED AS SEDIMENTATION BASINS DURING CONSTRUCTION SHALL BE CLEANED AFTER CONSTRUCTION.
19. PONDS TO BE USED AS TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED TO THE FOLLOWING BOTTOM ELEVATIONS:
 - 19.1. DRY POND #2: 741'
 - 19.2. DRY POND #3: 740'
 - 19.3. INFILTRATION BASIN #1: 738'
 FOLLOWING CONSTRUCTION, THE FINAL 1' SHALL BE REMOVED TO THE DESIGN SURFACE ELEVATION OF THE POND BOTTOMS.



PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

CLIENT: MANDEL GROUP, INC.

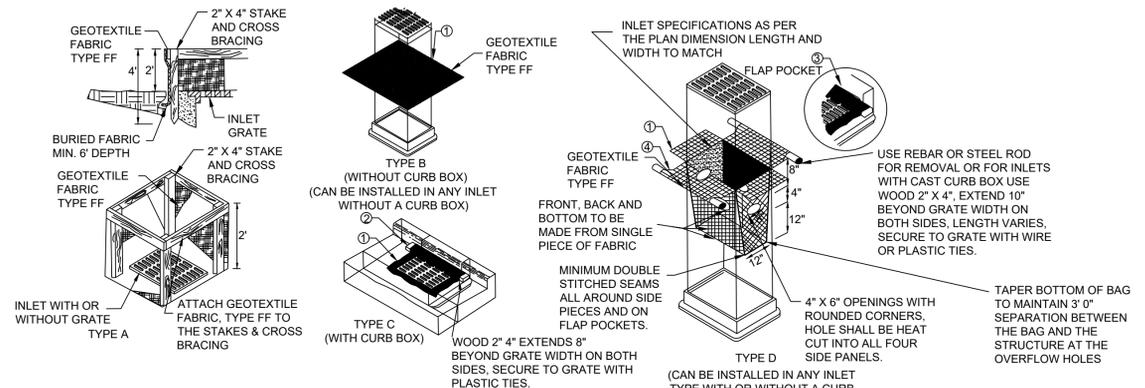
PROJECT LOCATION: 13105 WATERTOWN PLANK RD.
ELM GROVE, WI 53122

REVISIONS	DATE	DESCRIPTION

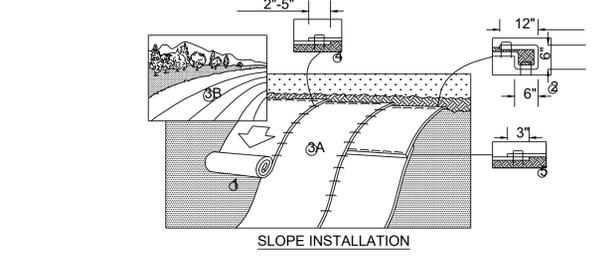
DRAWN BY: SES/RJT DATE: 07/20/2021
CHECKED BY: APS DATE: 07/20/2021

SITE TITLE: EROSION CONTROL PLAN

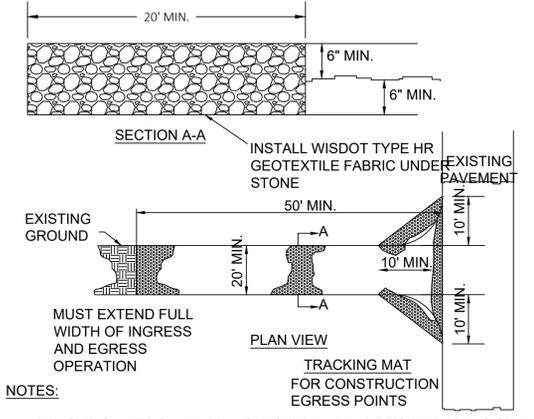
C110



- GENERAL NOTES:**
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"X4". THE REBAR, STEEL PIPE OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
 - FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 - INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 - MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 - WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- INSTALLATION NOTES:**
- TYPE B & C**
- TYPE FF GEOTEXTILE FABRIC (EXTEND FABRIC A MINIMUM OF 10" AROUND GRATE PERIMETER FOR MAINTENANCE OR REMOVAL.
 - THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D**
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 - THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15CM) DEEP X 6" (15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30CM) APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (5CM-12.5CM) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30CM) APART ACROSS ENTIRE BLANKET WIDTH.
- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.
 - IN LOOSE SOIL CONDITIONS THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

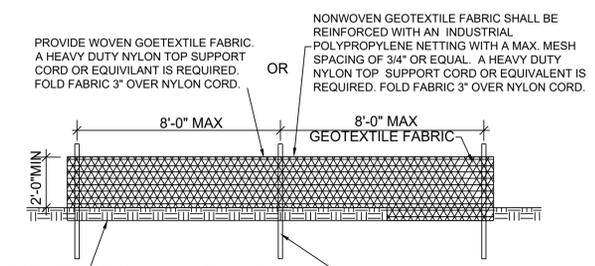


- NOTES:**
- TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
 - STONE - CLEAR OR WASHED (3"-6" SHALL BE PLACED AT LEAST 12" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE).
 - SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" OF STONE OVER THE PIPE TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
 - LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

1 INLET PROTECTION
C111 NTS

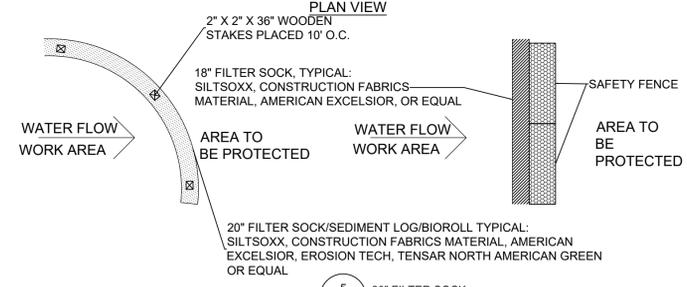
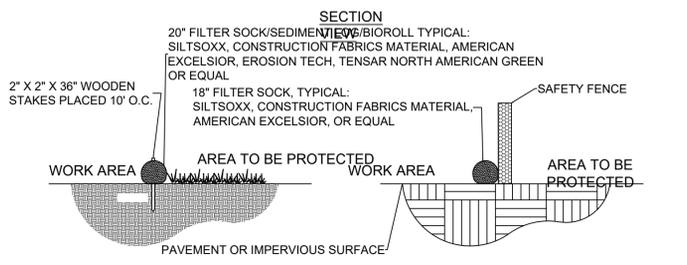
2 EROSION MAT INSTALLATION
C111 NTS

3 STABILIZED CONSTRUCTION ENTRANCE
C111 NTS

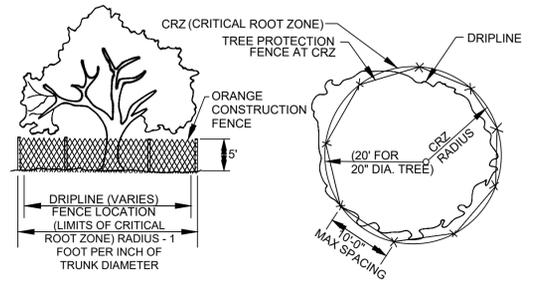


- PROVIDE WOVEN GEOTEXTILE FABRIC. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. FOLD FABRIC 3" OVER NYLON CORD.
- NONWOVEN GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL-POLYPROPYLENE NETTING WITH A MAX. MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. FOLD FABRIC 3" OVER NYLON CORD.
- EXCAVATE A TRENCH A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR 8" OF THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH. BACKFILL & COMPACT WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A SIZE OF 4" DIA. OR 1 1/2" X 3 1/2" EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OAK OR HICKORY. LENGTH=4'-0" MIN. WITH 1'-8" MIN. DEPTH IN GROUND.
- NOTES:**
- CONTRACTOR SHALL INSPECT SILT FENCE DAILY AND REPAIR OR REPLACE AS NEEDED. SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN DEPOSITS REACH 1/2 THE HEIGHT OF THE FENCE.
 - ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

4 SILT FENCE
C111 NTS



5 20" FILTER SOCK
C111 NTS



- NOTES:**
- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION ON THE PLANS, SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING, AS SHOWN.
 - TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
 - EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIPLINES.
 - FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES, LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIPLINE) OR CRITICAL ROOT ZONE (CRZ), WHICHEVER IS GREATER.
 - ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL AND BACKFILLED WITH GOOD QUALITY TOP SOIL WITHIN TWO DAYS. IF EXPOSED ROOT AREAS CANNOT BE BACKFILLED WITHIN 2 DAYS, AN ORGANIC MATERIAL WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION SHALL BE PLACED TO COVER THE ROOTS UNTIL BACKFILL CAN OCCUR.
 - PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIPLINES, A CLEAN CUT SHALL BE MADE WITH A ROCK SAW OR SIMILAR EQUIPMENT, TO MINIMIZE DAMAGE TO REMAINING ROOTS.
 - NO LANDSCAPE TOPSOIL DRESSING GREATER THAN FOUR (4) INCHES SHALL BE PERMITTED WITHIN THE DRIPLINE OR CRZ OF TREES, WHICHEVER IS GREATER. NO TOPSOIL IS PERMITTED ON ROOT FLARES OF ANY TREE.
 - PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS. ALL PRUNING MUST BE DONE AS OUTLINED IN LITERATURE PROVIDED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA PRUNING TECHNIQUES).

5 TREE PROTECTION
C111 NTS

NOTE: DETAIL PROVIDED FOR REFERENCE

PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
 PRELIMINARY DESIGN, NOT FOR CONSTRUCTION
 CLIENT: MANDEL GROUP, INC.
 PROJECT LOCATION: 13105 WATERTOWN PLANK RD.
 ELM GROVE, WI 53122

REVISIONS	DATE	DESCRIPTION

DRAWN BY: SES/RJT DATE: 07/20/2021
 CHECKED BY: APS DATE: 07/20/2021
 SITE TITLE

EROSION CONTROL DETAILS

C111

GENERAL NOTES

1. SITE LOCATION: 13105 WATERTOWN PLANK ROAD ELM GROVE, WISCONSIN 53122. SEE PLAT OF SURVEY FOR EASEMENT/RESTRICTIONS. REFER TO PLAT OF SURVEY BY CHAPUT LAND SURVEYS, DATED 12/15/2020 FOR INFORMATION ON COORDINATES AND SURVEY CONTROL.
2. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITIES, AND CHAPUT LAND SURVEYS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. ANY WORK OUTSIDE OF PROPERTY LINE AND IN RIGHT OF WAY SHALL CONFORM TO THE VILLAGE OF ELM GROVE STANDARD SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.
4. SEE LIGHTING PLAN FOR LIGHT FIXTURE DETAILS.
5. SEE LANDSCAPING PLANS FOR LANDSCAPING DETAILS.
6. PER PUBLIC WORKS COMMITTEE MEETING ON APRIL 12, 2021, THE GREEN MEADOW PLACE EXTENSION SHALL BE A PUBLIC STREET.

PLAN NOTES:

1. CONCRETE SIDEWALK, TYP. SEE DETAIL 1, SHEET C101.
2. PAVEMENT MARKING 4-INCH WHITE, TYP. SEE DETAIL 3, SHEET C102.
3. HMA PAVEMENT, TYP. SEE DETAIL 4, SHEET C101.
4. CURB RAMP DETAIL, SEE DETAILS 5 & 6, SHEET C101.
5. SIGN & TUBULAR STEEL POST, SEE DETAILS 1, 2 & 4, SHEET C102.
6. SIDEWALK FLUME (METAL GRATE), SEE DETAIL 9, SHEET C101.
7. CURB CUT, TYP. SEE DETAIL 7, SHEET C101.
8. 18" VALLEY CURB, SEE DETAILS 8A & 8B, SHEET C101.

LEGEND

- HMA PAVEMENT
- CONCRETE PAVEMENT/ SIDEWALK
- BUILDABLE FOOTPRINT AREA (FUTURE DEVELOPMENT)
- PROPERTY BOUNDARY
- SWALE

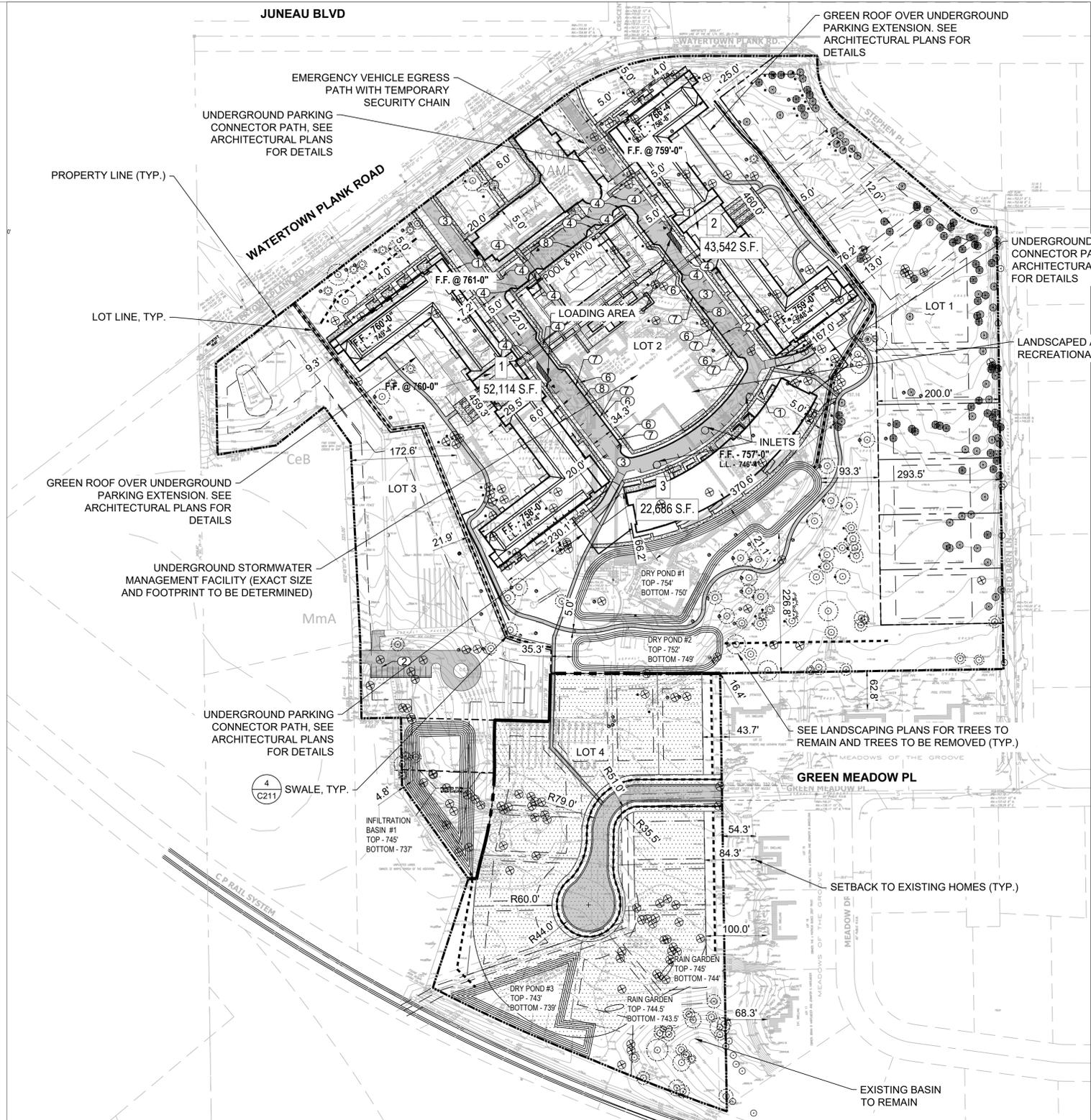
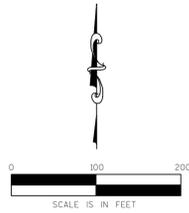
SIGN KEY:

- 1 STOP R1-1 30" X 30"
- 2 R7-8A 12"X18"

*BUILDING AREA:
TOTAL BUILDING AREA: 244,347 S.F.

*PARKING DATA:
TOTAL SURFACE SPACES = 65
ADA SURFACE SPACES = 3
TOTAL GARAGE SPACES = 392
ADA GARAGE SPACES = 12
TOTAL PARKING SPACES = 457

PARCEL ADDRESS:
13105 ELM GROVE, WISCONSIN 53122.



Impervious & Pervious Data by Lot - WITHIN TOTAL AREA																
Parcel	Pre Construction Zoning	Post Construction Zoning	Total Lot Area (SF)	Total Disturbed Area (SF)	Total Pre Construction Impervious (SF)*	Total Post Construction Impervious (SF)*	Pre Construction Impervious (SF)	Post Construction Impervious (SF)	Pre Construction Roof (SF)	Post Construction Roof (SF)	Pre Construction Pervious (SF)	Post Construction Pervious (SF)	Percent Roof Pre Construction	Percent Roof Post Construction	Percent Impervious Pre Construction*	Percent Impervious Post Construction*
Lot 1**	I-1	RS-3	188,325	188,325	13,189	36,482	13,189	15,355	-	21,127	175,136	151,843	0%	11%	7%	19%
Lot 2	I-1	RM-1	679,709	623,580	242,063	270,378	144,079	132,128	97,984	138,250	437,646	409,331	14%	20%	36%	40%
Lot 3	I-1	I-1	139,243	84,340	10,054	18,353	10,054	18,353	-	-	129,189	120,890	0%	0%	7%	13%
Lot 4**	I-1	RS-4	280,539	280,539	2,111	57,507	2,111	26,603	-	30,904	278,428	223,032	0%	11%	1%	20%
Total			1,287,816	1,176,784	267,417	382,720	169,433	192,439	97,984	190,281	1,020,399	905,096	8%	15%	21%	30%

Impervious & Pervious Data by Lot - WITHIN DISTURBED AREA																
Parcel	Pre Construction Zoning	Post Construction Zoning	Total Lot Area (SF)	Total Disturbed Area (SF)	Total Pre Construction Impervious (SF)*	Total Post Construction Impervious (SF)*	Pre Construction Impervious (SF)	Post Construction Impervious (SF)	Pre Construction Roof (SF)	Post Construction Roof (SF)	Pre Construction Pervious (SF)	Post Construction Pervious (SF)	Percent Roof Pre Construction	Percent Roof Post Construction	Percent Impervious Pre Construction*	Percent Impervious Post Construction*
Lot 1**	I-1	RS-3	188,325	188,325	13,189	36,482	13,189	15,355	-	21,127	175,136	151,843	0%	11%	7%	19%
Lot 2	I-1	RM-1	679,709	623,580	242,063	270,378	144,079	132,128	97,984	138,250	381,517	353,202	14%	20%	39%	43%
Lot 3	I-1	I-1	139,243	84,340	6,533	14,832	6,533	14,832	-	-	77,807	69,508	0%	0%	8%	18%
Lot 4**	I-1	RS-4	280,539	280,539	2,111	57,507	2,111	26,603	-	30,904	278,428	223,032	0%	11%	1%	20%
Total			1,287,816	1,176,784	263,896	379,199	165,912	188,918	97,984	190,281	912,888	797,585	8%	15%	22%	32%

*INCLUDES ROOF AREA
**FUTURE SINGLE FAMILY HOME DEVELOPMENT OF LOTS 1 AND 4 TO BE CONSTRUCTED BY OTHERS. AREAS ARE FOR DEVELOPMENT OF SHARED STORM WATER MANAGEMENT FACILITIES ONLY

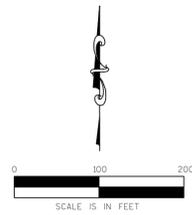
KSingh Engineers Scientists Consultants
3636 North 124th Street
Wauwatosa, WI 53222
262-821-1171
CONSULTANT

PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
PRELIMINARY DESIGN, NOT FOR CONSTRUCTION
CLIENT: MANDEL GROUP, INC.
PROJECT LOCATION: 13105 WATERTOWN PLANK RD.
ELM GROVE, WI 53122

REVISIONS	DATE	DESCRIPTION

DRAWN BY SES/RJT DATE 07/20/2021
CHECKED BY APS DATE 07/20/2021
SITE TITLE
SITE PLAN

C200
of SHEET XX



NOTES:

1. GRADE ALL SURFACES FOR POSITIVE DRAINAGE.
2. ALL GRADES SHOWN ARE SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM SITE BEFORE GRADING.
4. FINAL ADJUSTMENTS SHALL BE MADE AT THE TIME OF PAVING TO MATCH THE PAVEMENT SURFACE.
5. PER WDNR TECHNICAL STANDARDS, ONE OF THE FOLLOWING METHODS SHALL BE USED WHEN WORKING NEAR THE PROPOSED LOCATIONS OF THE INFILTRATION AND DRY PONDS:
 - 5.1. COMPACTION AVOIDANCE - COMPACTION OF THE AREA FOR THE INFILTRATION BASIN AND DRY PONDS SHALL BE AVOIDED BY PROTECTING THE PROPOSED INFILTRATION BASIN AND DRY POND LOCATIONS FROM ALL TRAFFIC.
 - 5.2. COMPACTION MITIGATION - IF COMPACTION OR SMEARING OCCURS AT THE PROPOSED LOCATION OF INFILTRATION BASIN AND DRY PONDS, THE EFFECTS OF COMPACTION SHALL BE MITIGATED BY INCORPORATING TWO INCHES OF COARSE SAND AND REFRACTURING TO A DEPTH OF AT LEAST 12 INCHES. FOLLOWING GRADING OPERATIONS, THE PROPOSED LOCATIONS SHALL BE EVALUATED AND DOCUMENTED FOR CONSISTENCY WITH THE ORIGINAL SITE INVESTIGATION.

LEGEND:

- NEW GRADING CONTOUR
- EXISTING GRADING CONTOUR
- WATER FLOW DIRECTION
- SPOT GRADE ELEVATION
- TOP OF CURB (TOC) ELEVATION
- BOTTOM OF CURB (BOC) ELEVATION
- TOP OF WALL (TOW) ELEVATION
- BOTTOM OF WALL (BOW) ELEVATION
- FLOW LINE (FL) ELEVATION
- ADA ACCESS PATH



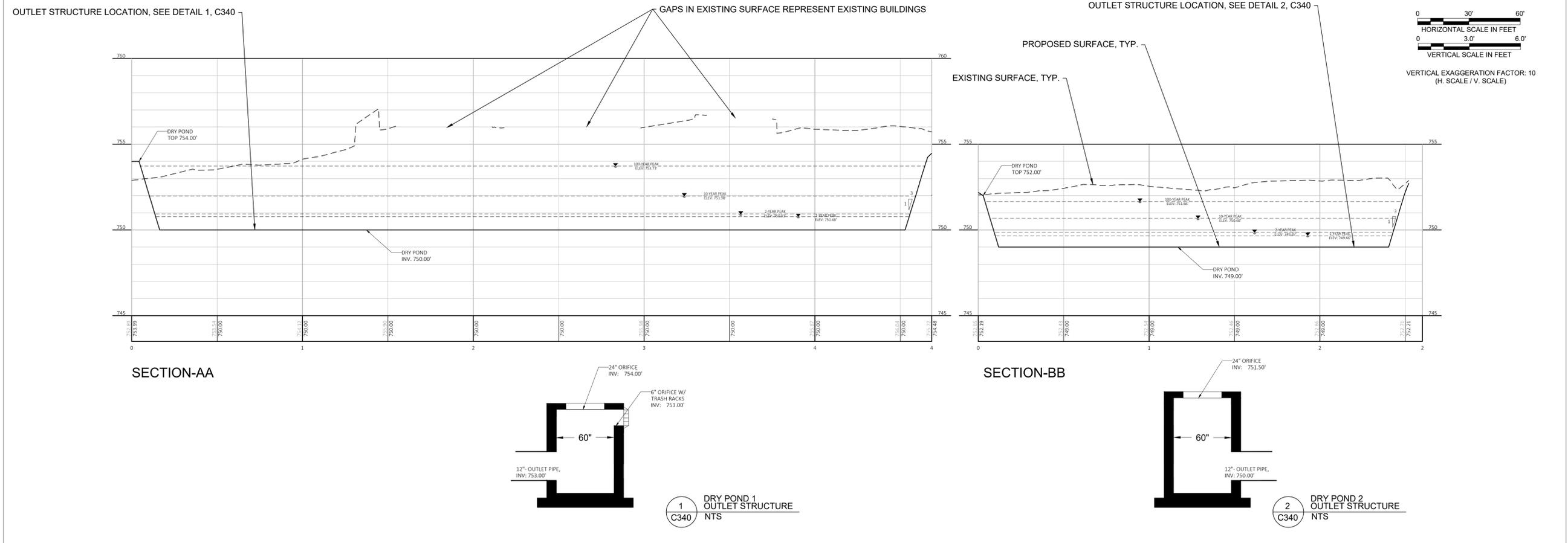
REVISIONS	DATE	DESCRIPTION

DRAWN BY SES/RJT	DATE 07/20/2021
CHECKED BY APS	DATE 07/20/2021

SITE TITLE

GRADING PLAN

C300



PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

CLIENT: MANDEL GROUP, INC.

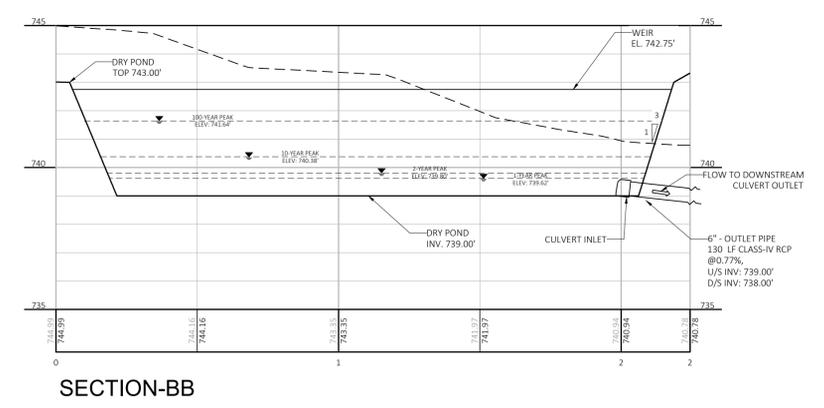
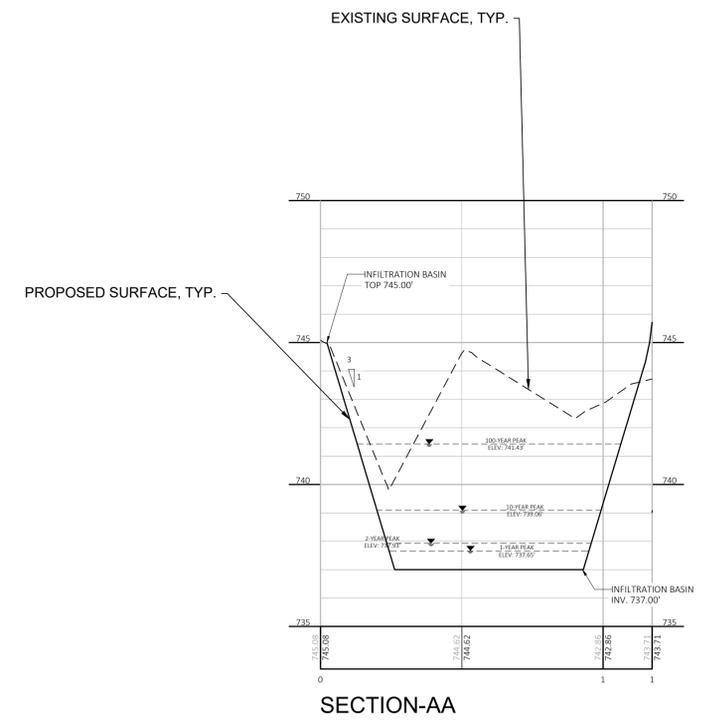
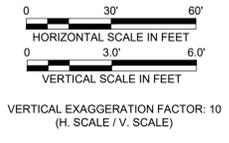
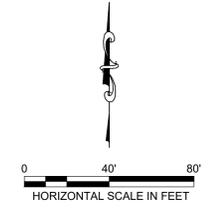
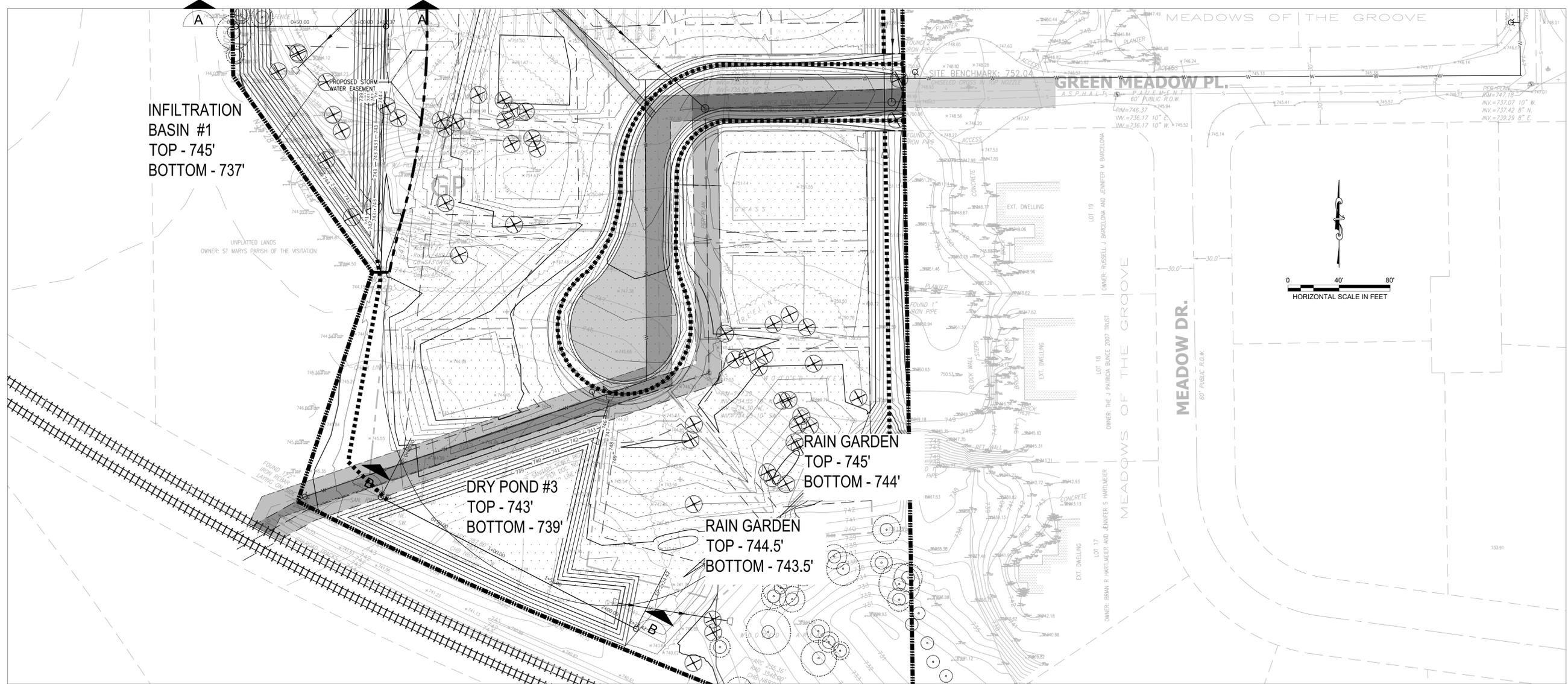
PROJECT LOCATION: 13105 WATERTOWN PLANK RD.
ELM GROVE, WI 53122

REVISIONS	DATE	DESCRIPTION

DRAWN BY: SES/RJT DATE: 07/20/2021
CHECKED BY: APS DATE: 07/20/2021

SITE TITLE: DRY POND 1 & DRY POND 2 XS

C340



PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

CLIENT: MANDEL GROUP, INC.

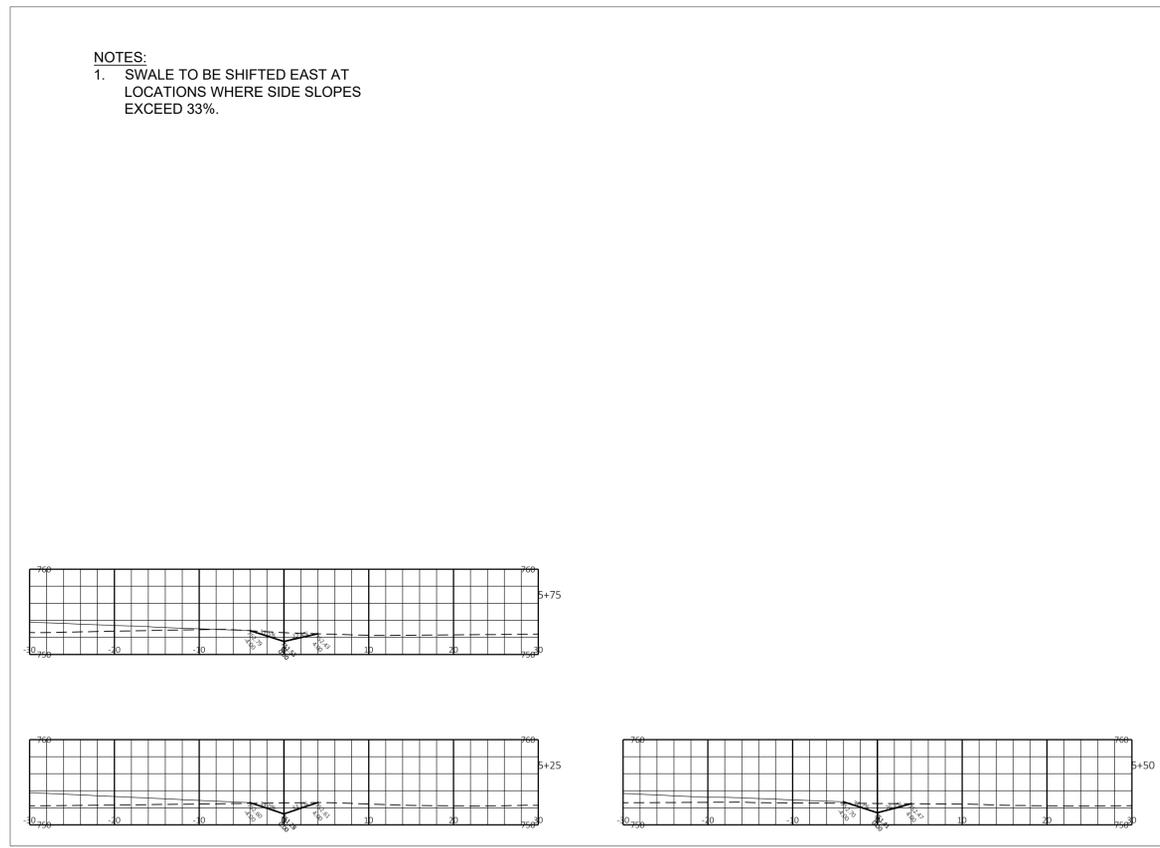
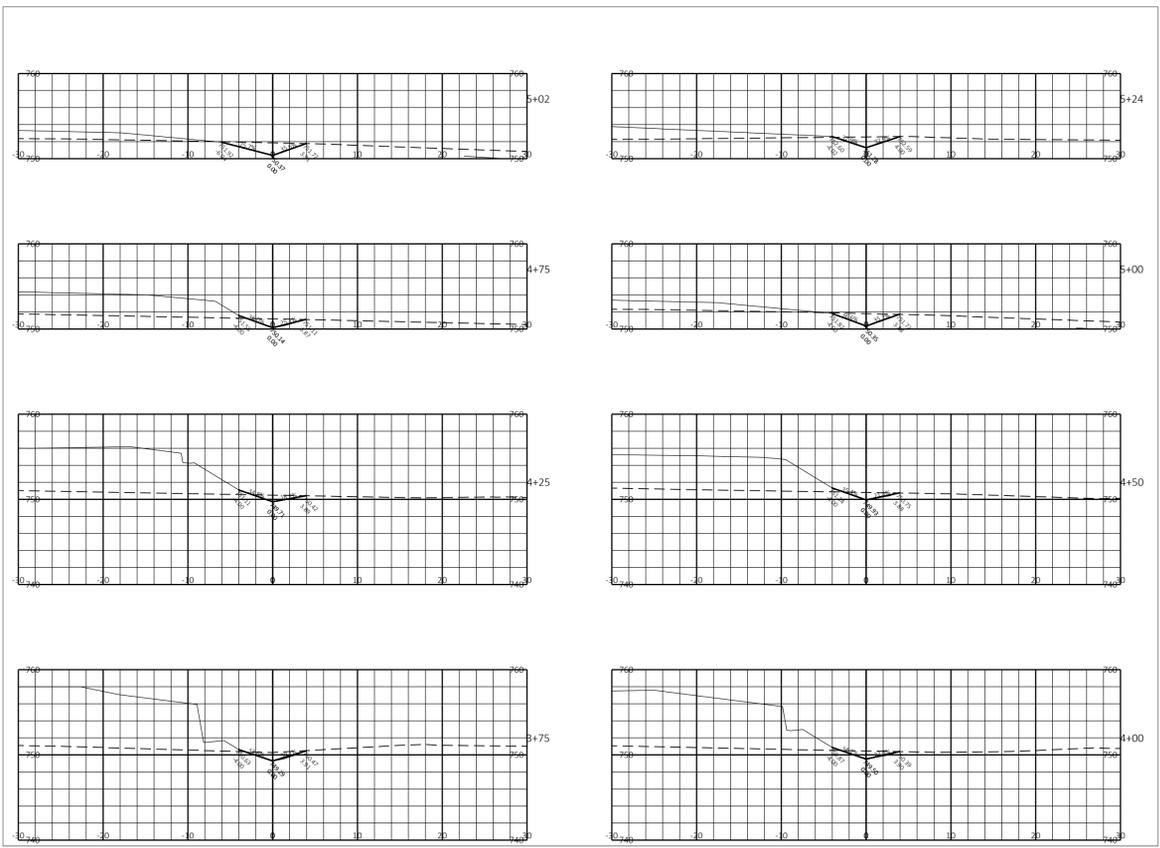
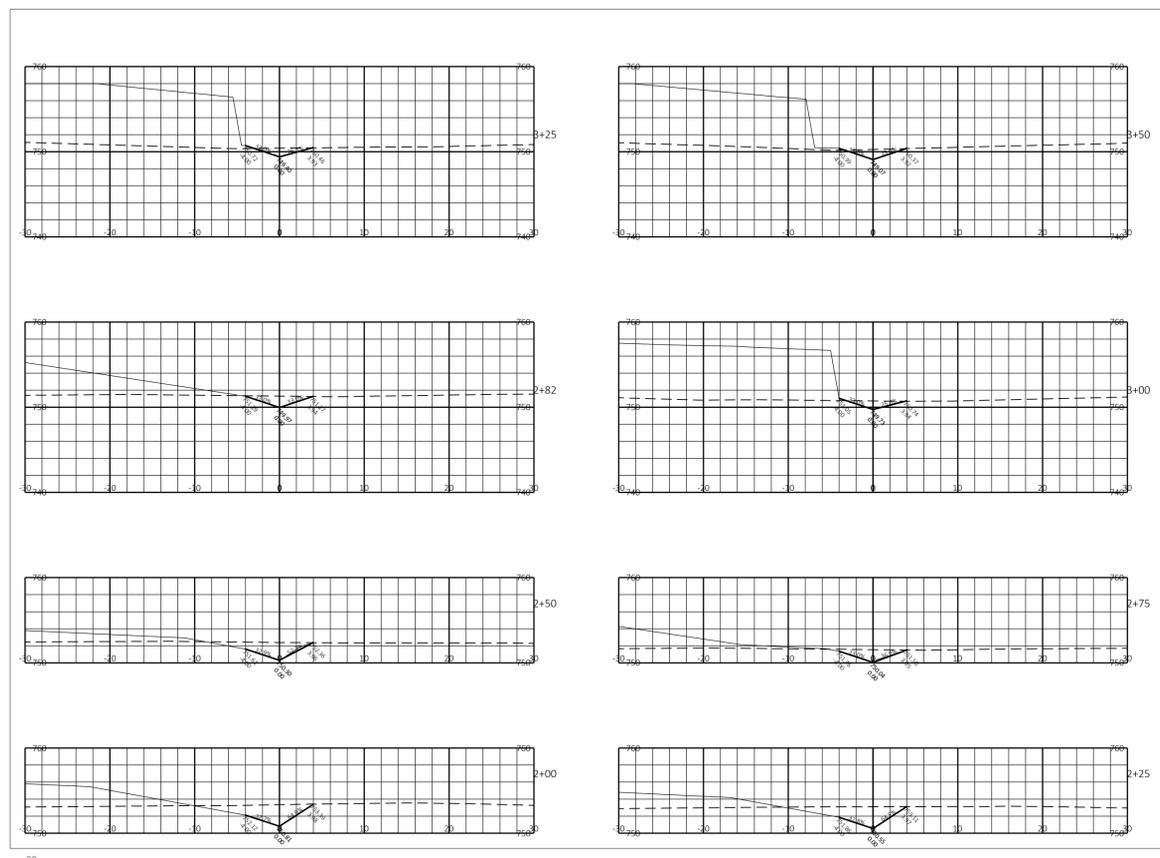
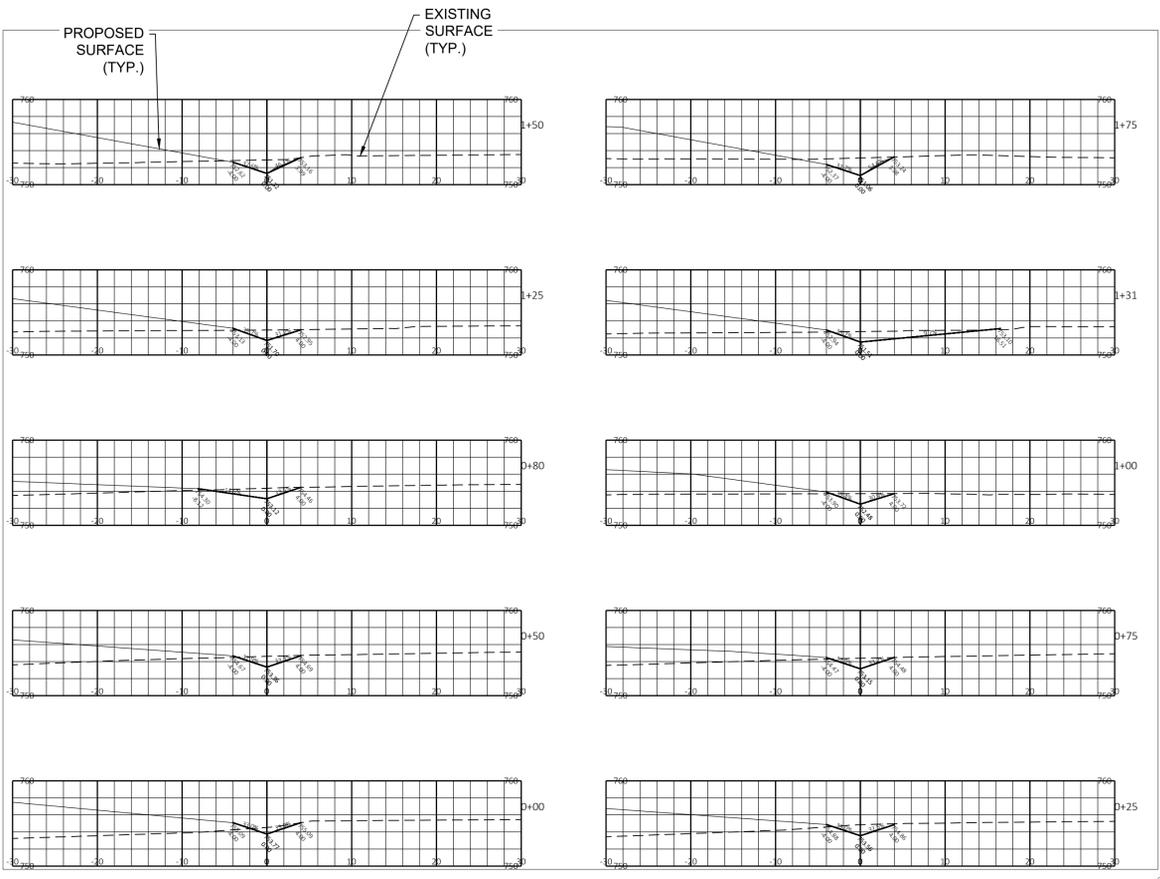
PROJECT LOCATION: 13105 WATERTOWN PLANK RD.
ELM GROVE, WI 53122

REVISIONS	DATE	DESCRIPTION

DRAWN BY: SES/RJT DATE: 07/20/2021
CHECKED BY: APS DATE: 07/20/2021

SITE TITLE
INFILTRATION BASIN 1 & DRY POND
3 XS

C341



NOTES:
1. SWALE TO BE SHIFTED EAST AT LOCATIONS WHERE SIDE SLOPES EXCEED 33%.

PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
PRELIMINARY DESIGN, NOT FOR CONSTRUCTION

CLIENT: MANDEL GROUP, INC.

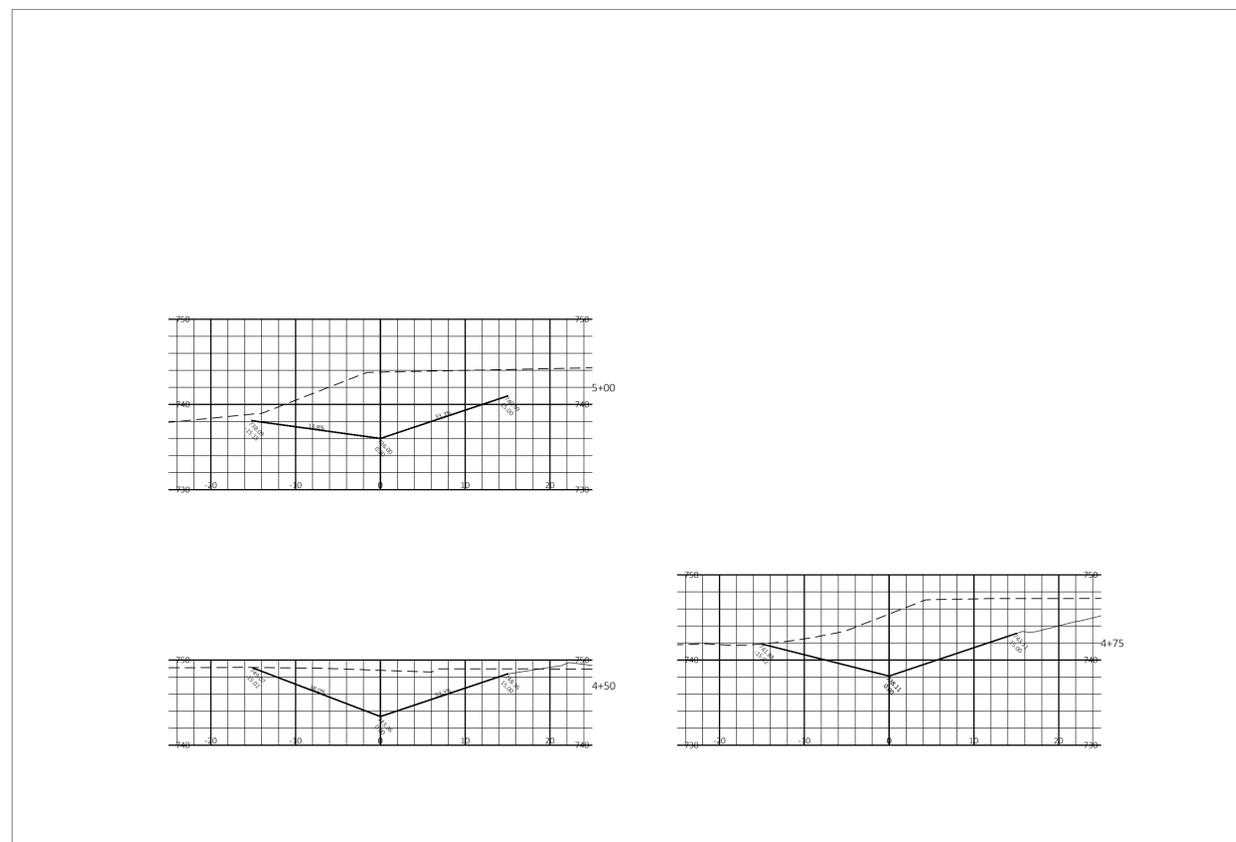
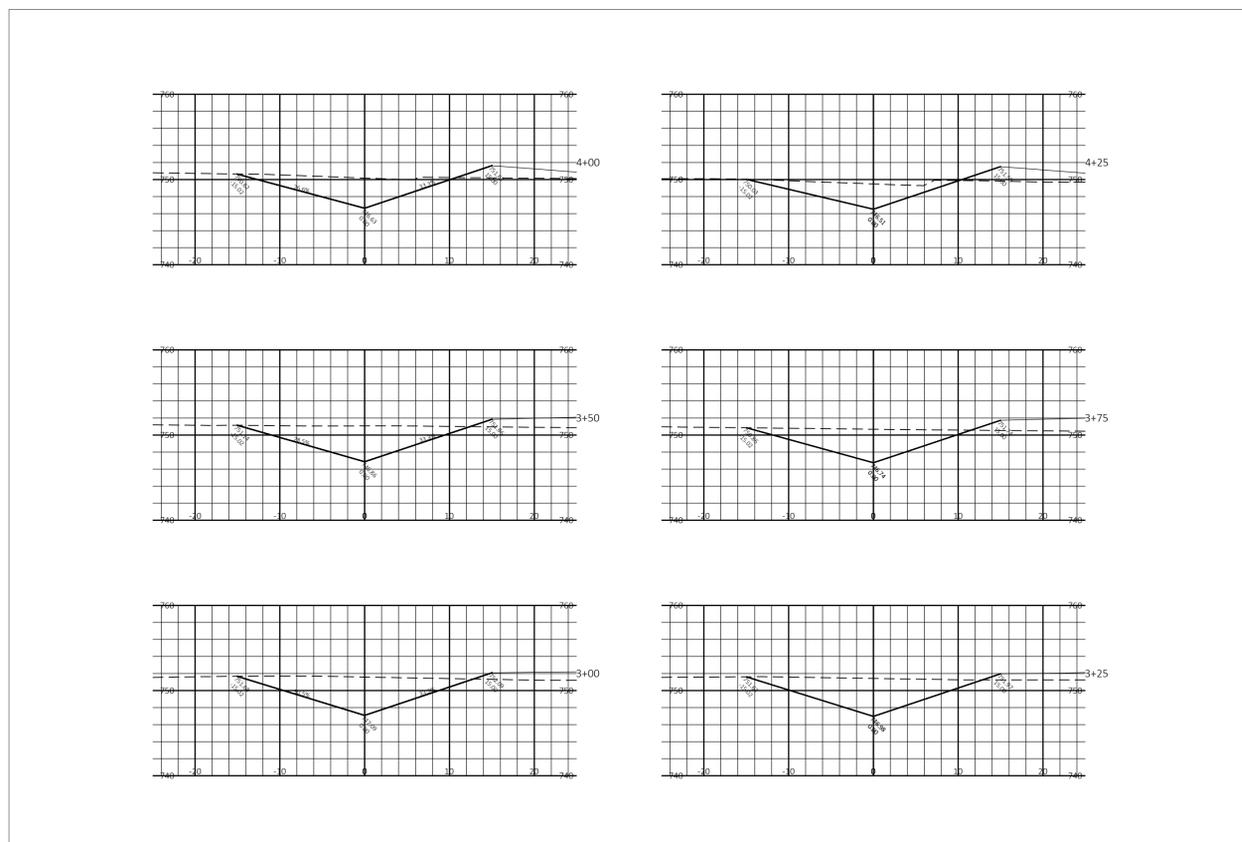
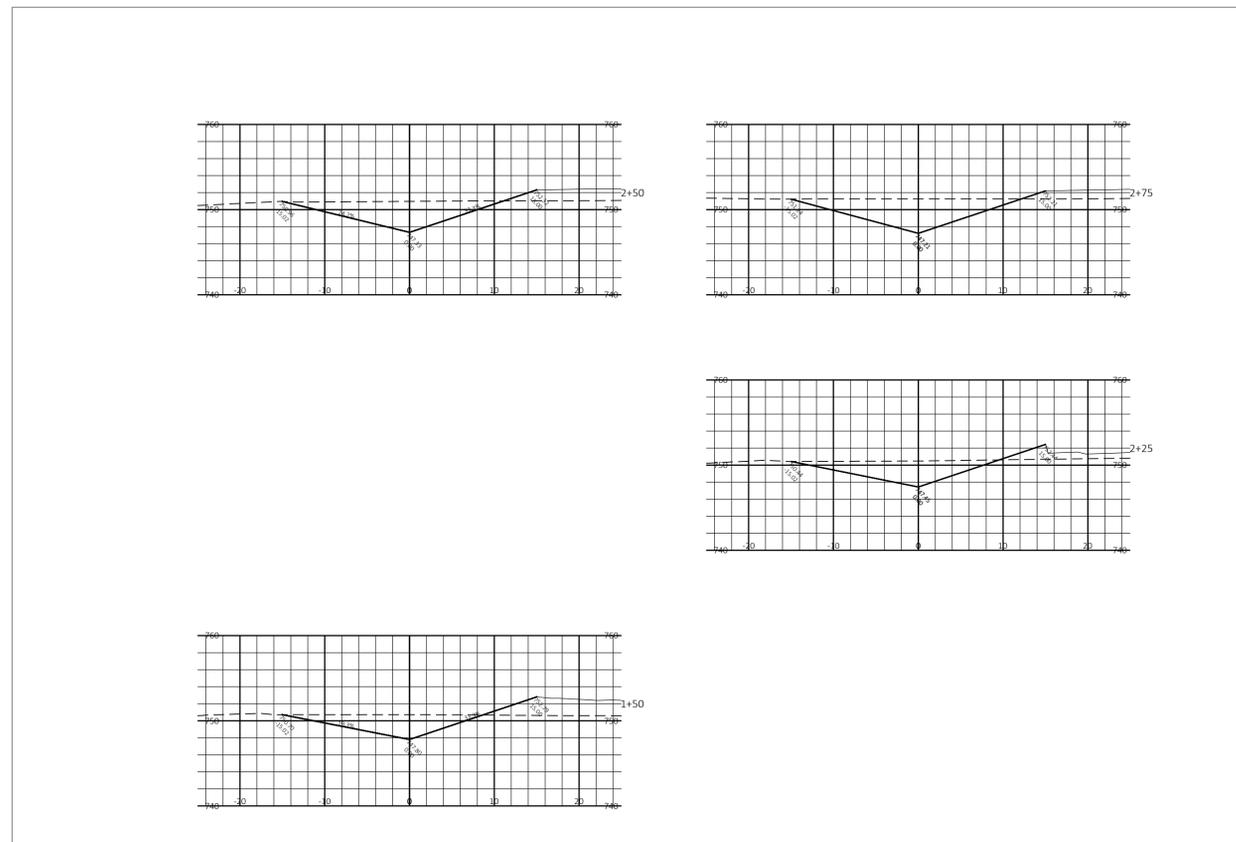
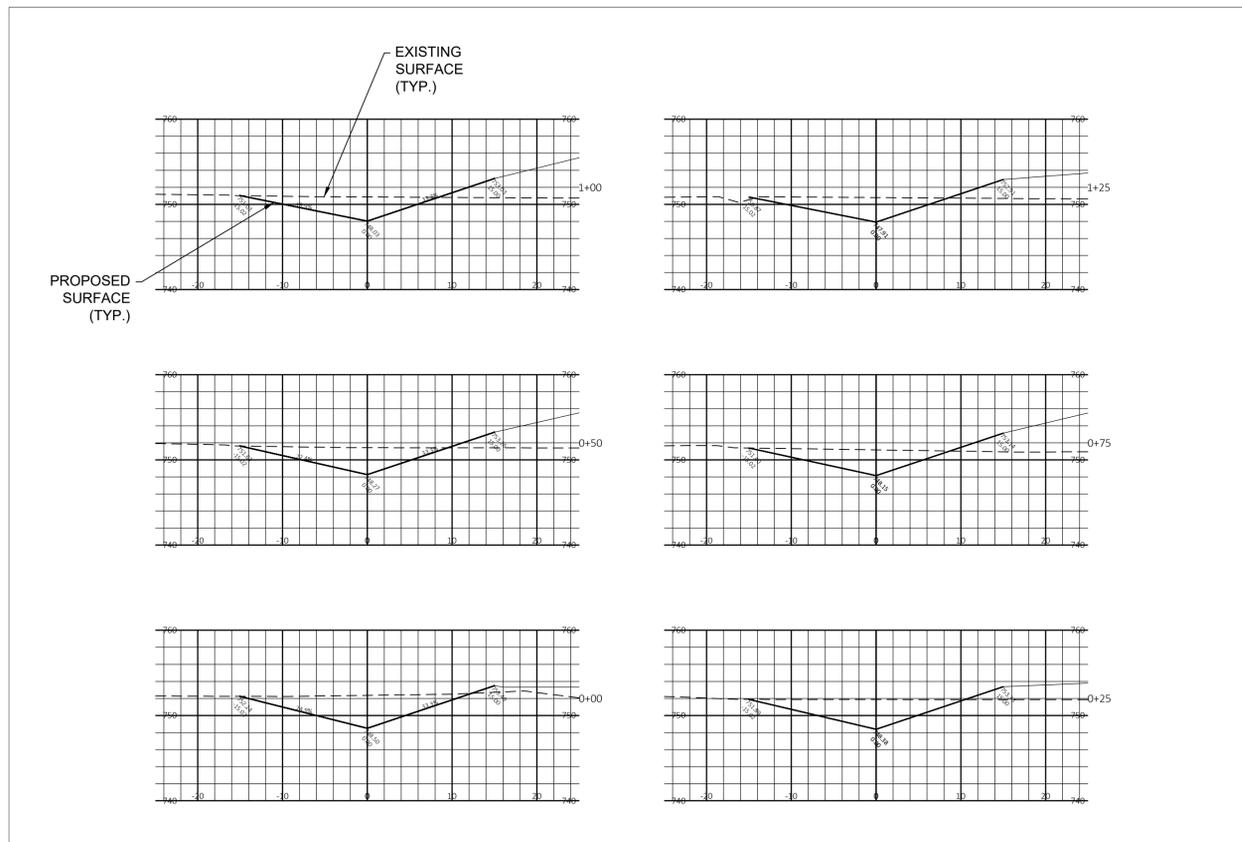
PROJECT LOCATION: 13105 WATERTOWN PLANK RD.
ELM GROVE, WI 53122

REVISIONS	DATE	DESCRIPTION

DRAWN BY: SES/RJT DATE: 07/20/2021
CHECKED BY: APS DATE: 07/20/2021

SITE TITLE
WEST SWALE XS SHEET

C350



PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
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PROJECT LOCATION: 13105 WATERTOWN PLANK RD.
ELM GROVE, WI 53122

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DRAWN BY SES/RJT	DATE 07/20/2021
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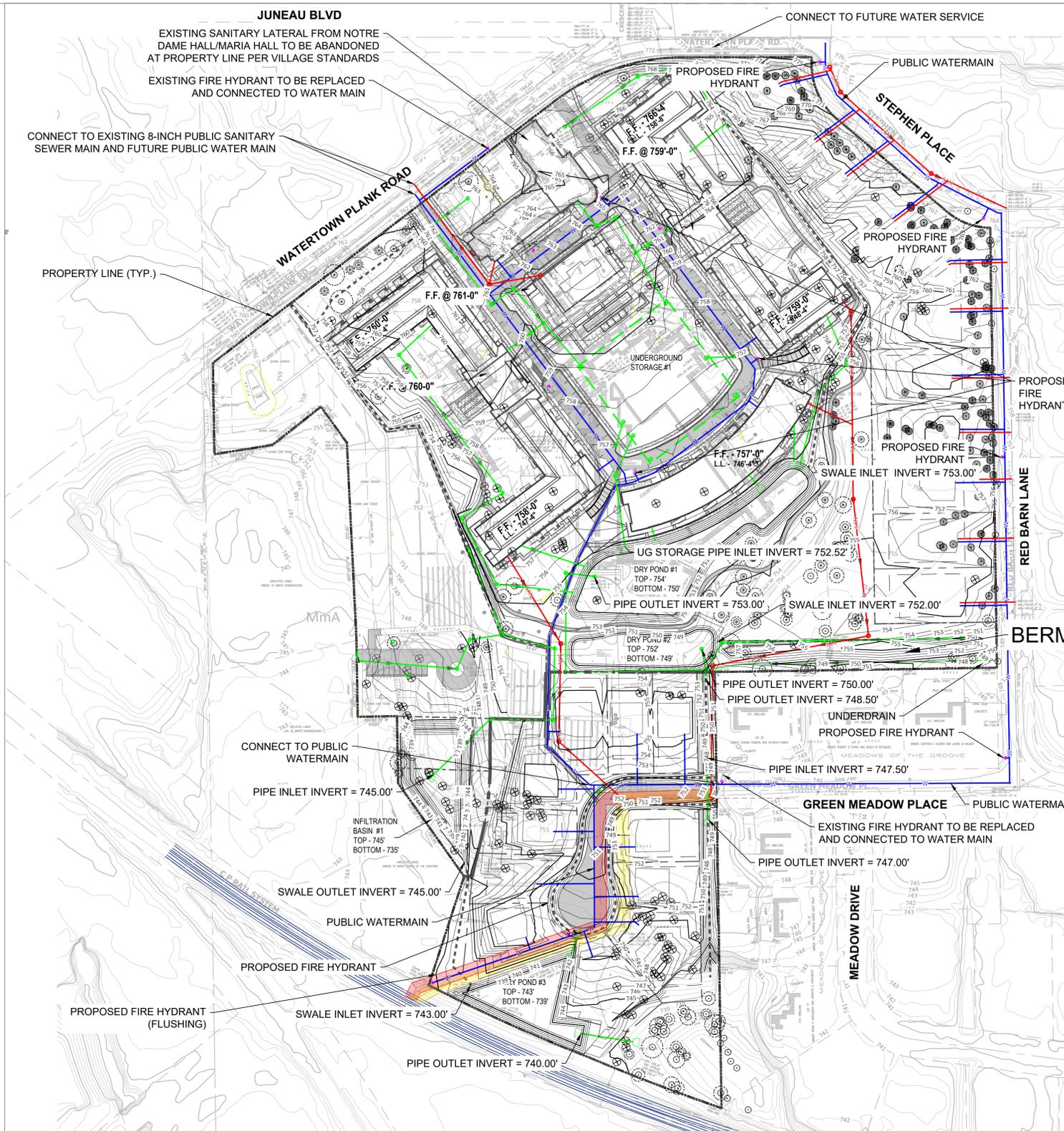
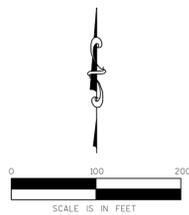
SITE TITLE
SOUTHERN HOMES EAST SWALE
XS SHEET

C352

- LEGEND**
- FLOW ARROW OF GRAVITY PIPE
 - SAN — PROPOSED SANITARY SEWER
 - SS — PROPOSED STORM SEWER
 - W — PROPOSED WATER MAIN
 - EX — EXISTING SANITARY (SOUTH BY EASEMENT ONLY)
 - EXISTING SANITARY EASEMENT
 - PROPOSED SANITARY EASEMENT SHIFT
 - FIRE HYDRANT
 - - - DRAINAGE DITCH

PIPE DATA TABLE (CONCEPT LEVEL - APPROXIMATE VALUES)			
UTILITY	SIZE (INCH)	TOTAL LENGTH (FT)	AVERAGE COVER (FT)
WATER (Within Property)	8	2798	6
WATER (Outside Property)	12	1839	6
WATER LATERAL (East Homes)	2	595	6
WATER LATERAL (Main Building)	6	133	6
HYDRANT LEAD	6	289	6
SANITARY	8	586	8
SANITARY	10	1016	12
SANITARY LATERAL	6	1765	6
STORM	10	900	3
STORM	12	2149	3
STORM	15	433	3
STORM	18	50	3
STORM	24	1059	2
STORM	36	346	2
TOTAL WATER LF	-	5654	-
TOTAL SANITARY LF	-	3367	-
TOTAL STORM LF	-	4937	-

- NOTES:**
- STORM PIPING LENGTHS DO NOT INCLUDE PERIMETER PIPING AROUND BUILDINGS FOR ROOF DRAINAGE.
 - STORM PIPING LENGTHS DO NOT INCLUDE DRIVEWAY CULVERT PIPING LENGTHS FOR SOUTHERN NEIGHBORHOOD OR EASTERN HOUSES.
 - SANITARY AND WATER LATERALS FOR SOUTHERN NEIGHBORHOOD NOT INCLUDED.



CONSULTANT

PROJECT TITLE: SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
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ELM GROVE, WI 53122

PROJECT TITLE:

REVISIONS	DATE	DESCRIPTION

DRAWN BY SES/RJT	DATE 07/20/2021
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SITE TITLE

UTILITY PLAN OVERVIEW

C400

**THIS CONCEPTUAL STORMWATER MANAGEMENT REPORT
WHICH WAS APPROVED BY THE PUBLIC WORKS/UTILITIES
COMMITTEE IS HEREBY INCORPORATED BY REFERENCE.**

CONCEPTUAL STORMWATER MANAGEMENT REPORT

SCHOOL SISTERS OF NOTRE DAME DEVELOPMENT
ELM GROVE, WI

December 21, 2020 (First Submittal)
April 27, 2021 (Second Submittal)
July 20, 2021 (Third Submittal)

PREPARED BY

K. SINGH & ASSOCIATES, INC.
ENGINEERS, SCIENTISTS, AND ENVIRONMENTAL CONSULTANTS
3636 N. 124th STREET, SUITE 100
WAUWATOSA, WI 53222
(262) 821-1171
(262) 821-1174 FACSIMILE
www.ksinghengineering.com

PROJECT #40380

Exhibit I – Financial References



August 9, 2021

Mr. Tom Harrigan
Zoning and Planning Administrator
Village of Elm Grove
13600 Juneau Blvd.
Elm Grove, WI 53122

Dear Mr. Harrigan:

It is my understanding that Mandel Group is pursuing a development opportunity consisting of a variety of housing opportunities within the Village of Elm Grove on what is currently property owned by the School Sisters of Notre Dame.

CIBC Bank USA (previously The PrivateBank and Trust Co.) has had an ongoing and broad banking relationship with Mandel and its project affiliates for over 16 years. We have come to know first-hand Mandel's unsurpassed development and management expertise, professionalism, and attention to detail; thus, we hold the company's leadership and employees in the highest regard and recommend them to you.

Over the past 16 years we have provided Mandel with a full range of banking and credit services – as depository, letter of credit provider, bridge loan lender, and construction lender. During this time we have financed several of Mandel's multifamily development projects, the most recent of which is Velo Village apartments in Franklin. We will certainly be interested in discussing with Mandel the lending opportunity associated with your project.

Please feel free to contact me at 414.291.7117 if you have questions or need specific additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "James Roemer". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

James Roemer
Managing Director

WALKER & DUNLOP

August 9, 2021

Mr. Phillip Aiello
Senior Vice President | Development
Mandel Group
330 East Kilbourn Avenue
Milwaukee, WI 53202

Re: Financial Reference

Dear Phil,

We are providing this financial reference letter for your use.

As you know, we have been working with Barry Mandel and the Mandel Group team for over 20 years.

Over the last 5 years alone, we have completed 16 transactions totaling in excess of \$450,000,000, and we are actively underwriting another transaction in the amount of approximately \$22,000,000. We have placed the financing on these refinance and acquisition transactions with a variety of lending sources ranging from life companies to agency debt (Fannie Mae, Freddie Mac and HUD).

If you have any questions or need additional details, please let me know.

Sincerely,



James M. Cope
EVP & Head of Capital Markets

Exhibit J – Public Facilities Dedication

